

# Sycamore Crossing

Sycamore Downtown in the Hercules Central Quarter



**Initial Planned Development Plan  
FINAL DRAFT**

May 17, 2010

**Prepared For:**

**City of Hercules, California**

**Prepared By:**



Opticos Design, Inc.  
Berkeley, California

# Sycamore Crossing

Hercules, CA

Prepared For

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## Introduction

The Sycamore Crossing Initial Planned Development Plan (IPDP) helps fulfill the goals of the Central Hercules Plan to develop a central mixed-use commercial and residential heart of the city. The plan envisions a vibrant, mixed-use quarter centered along Sycamore Avenue that combines locally-serving retail, professional office, and residential uses, complementing the commercial character of San Pablo Avenue to the southeast and the mixed-use character of the New Town Center district to the east. The development extends the qualities of Central Hercules through a pedestrian-oriented network of walkable streets, appropriately scaled mixed-use buildings, and new landscape improvements.

This IPDP implements the Central Hercules Plan vision for the geographic center of Hercules as “ideal for commerce, pedestrian accessibility, and for establishing the image of the town.” Central to this document is the Form-Based Code (Chapter 2), which provides a regulatory framework for the implementation of mixed uses in the project area.

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## How to Use this Initial Planned Development Plan

Upon approval, this Initial Planned Development Plan (IPDP) will serve as a regulatory tool for the development of the Sycamore Crossing project area. In accordance with Section 48.400 of the Hercules Zoning Ordinance, this document is intended to establish a set of regulations for the detailed design of buildings and other improvements, which will regulate future site development whether it occurs in phases by a single owner or developer, or in increments by separate owners or developers. It is designed for use by the developer (or future developers), city staff, planners, architects, and builders in their respective roles.

The IPDP establishes development standards to guide the design of buildings and site improvements that will be delineated and described in one or more Final Planned Development Plans (FPDP). A FPDP may be reviewed and processed concurrently with this IPDP (as per Section 48.400).

### The Sycamore Crossing IPDP is organized as follows:

Chapter 1 sets forth the basic urban design parameters for development and includes an overview of the project site, its relationship to the surrounding area, a program summary, a potential phasing plan, and potential development scenarios. The potential development scenarios are intended to be illustrative in nature showing two possible build-outs of the site program as studied in the EIR.

Chapter 2 includes new zone descriptions guided by a Building Form Regulating Plan, which depicts the location of new parcels organized into blocks. The zones establish building form standards to ensure the appropriate scale, use and form of new buildings.

Chapter 3 offers open space and civic standards to guide the design and location of new plazas and open spaces and the enhancement of the riparian corridor along Refugio Creek.

Chapter 4 regulates street types and provides street sections to describe building frontage conditions organized by street type.

Chapter 5 provides architectural design guidelines that will guide the character and style of buildings as experienced from the street and public spaces.

The Appendix provides a glossary of terms used in the development code and throughout the plan as well as Stormwater Quality Standards and Green Building Resources.

All regulatory drawings and diagrams presented in this document are not to scale. All critical dimensions on the drawings and diagrams are noted. The drawings and diagrams within this document are not intended to be scaled.

# Location and Context

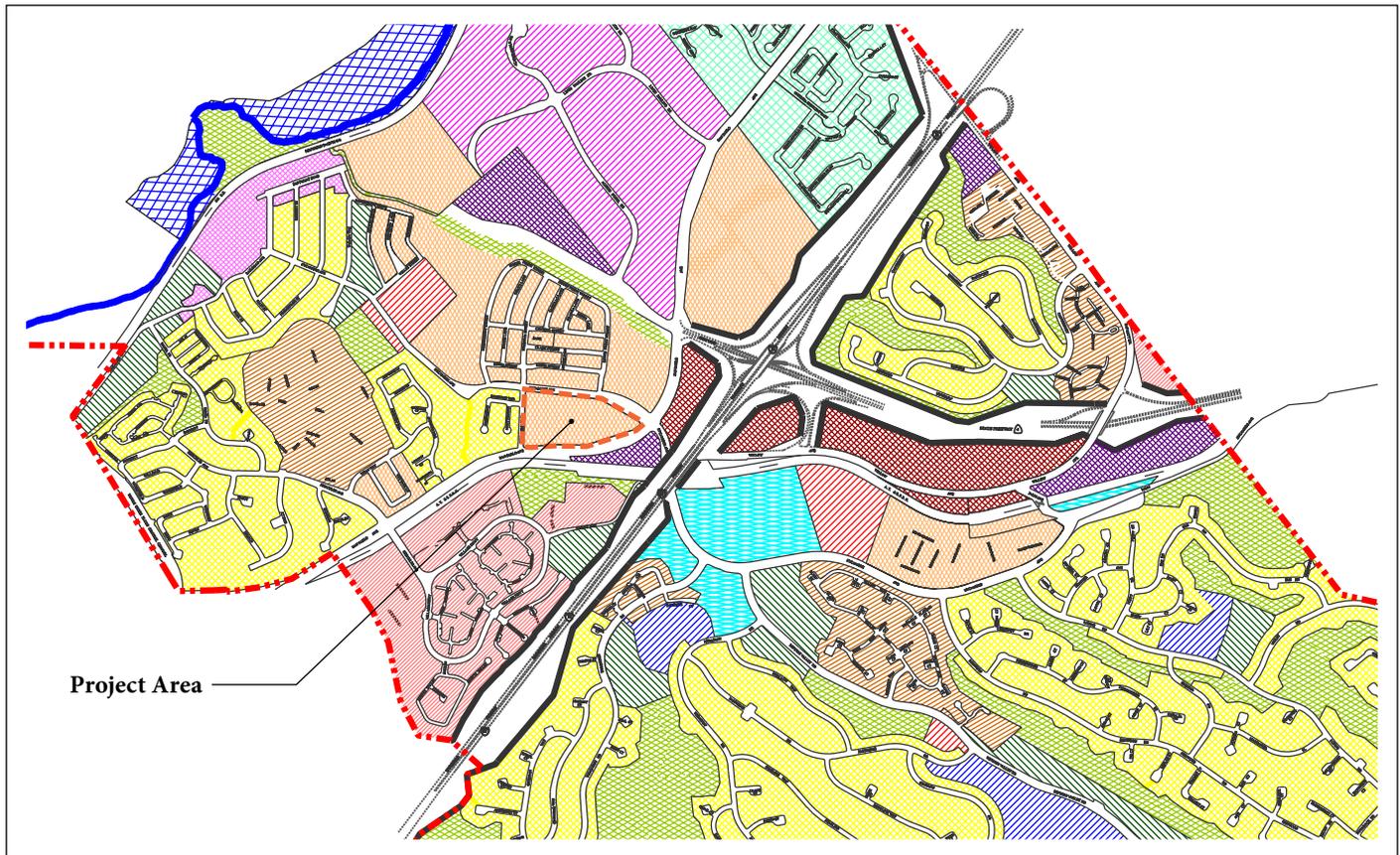


The project area is located in Hercules, California and is bounded by Sycamore Avenue to the north, San Pablo Avenue to the south, the east by the intersection of these two streets, and Tsushima Street to the west. The project area comprises approximately 12.4 acres and is within 500 ft. of Interstate 80.

*Above: Sycamore Crossing Contextual Map. The Central Hercules Plan (2000) envisioned the area as the City’s “Central Quarter” with the intersection of Sycamore Avenue and San Pablo Avenue at its heart.*

The site is within a short walking distance of several residential neighborhoods of Central Hercules, as well as the New Town Center redevelopment project to the east. Additional residential neighborhoods, portions of the Waterfront District, the North Shore Business Park, and Hilltown are reachable within a larger, 1/2 mile area.

Together with the New Town Center/Market Town project to the east and the “Sycamore Downtown – North” development on the north side of Sycamore Avenue, Sycamore Crossing has tremendous potential to contribute to the transformation of the surrounding area into a walkable and pedestrian-oriented center with a downtown feel.



**Relationship to City of Hercules Regulatory Documents**

**Regulatory Framework**

The Sycamore Crossing project area’s regulatory framework includes the City of Hercules General Plan, the City of Hercules Zoning Ordinance, the Central Hercules Plan, and the Central Hercules Plan Regulating Code. In 2001 the 12.4-acre Sycamore Crossing properties were identified in the Regulating Code for the Central Hercules Plan as “Phase II” parcels of the Central Hercules Plan area and included in the overall vision for downtown Hercules. However, the parcels retained a “permissive” designation in regards to the applicability of the CHP Regulating Code, as land use and zoning designations were not initially changed to enable this vision. In order to develop the Sycamore Crossing site as an integral component of the CHP’s Central Quarter District, amendments, as described below, were processed through the Updated 2009 Redevelopment Plan and its related Environmental Impact Report.

**City of Hercules General Plan**

The Sycamore Crossing project area has been designated “Planned Commercial-Residential (PC-R)” through the Updated 2009 Redevelopment Plan. The Planned Commercial-Residential land use designation is intended to accommodate residential and commercial uses in well-planned, mixed-use environments. Appropriate commercial uses include retail businesses, professional service offices, and other customer-oriented businesses. Consistent with these intended uses, the Sycamore Crossing project establishes residential uses, as well as office, retail, restaurant, and hotel uses, in order to create a more urban commercial corridor that can support visitor and local shopping, employment and housing needs.

**Land Use and Zoning Map**

-  FRANKLIN CANYON AREA
-  PUBLIC OPEN SPACE
-  PUBLIC PARK
-  PLANNED COMMERCIAL RESIDENTIAL
-  SINGLE FAMILY ESTATE
-  RESIDENTIAL MULTI FAMILY LOW DENSITY
-  COMMUNITY COMMERCIAL
-  NEW PACIFIC PROPERTIES SPECIFIC PLAN AREA
-  GENERAL COMMERCIAL
-  PLANNED OFFICE RESEARCH AND DEVELOPMENT
-  RESIDENTIAL SINGLE FAMILY LOW DENSITY
-  WATER FRONT COMMERCIAL
-  HISTORIC TOWN CENTER
-  PUBLIC CITY
-  NEW TOWN CENTER
-  RESIDENTIAL MULTI FAMILY MEDIUM DENSITY
-  HERCULES INDUSTRIAL
-  HERCULES PUBLIC SCHOOLS

As part of the updated 2009 redevelopment plan, Chapter 15 of the zoning ordinance was amended to allow 65' building heights along major frontages of Sycamore Avenue and San Pablo Avenue subject to a Planned Development Plan. Buildings within Sycamore Crossing will be typically between one and five stories and will conform to the overall character of the recent mixed-use development along Sycamore Avenue and future development within the New Town Center District.

### **City of Hercules Zoning Ordinance**

The property has been zoned "PC-R Planned Commercial Residential Mixed Use District" through the Updated 2009 Redevelopment Plan. This zone district anticipates a mix of residential and commercial uses, including vertically-integrated mixed-use structures, that are designed as a unified development, with overall residential densities of 15 to 30 units per acre in addition to commercial densities of .20 to .40 FAR. Buildings within Sycamore Crossing will generally comply with the allowable land uses and property development regulations described in Chapter 15 of the Zoning Ordinance.

As described in section 15.200.1 of the Zoning Ordinance, the PC-R Zone District is subject to the regulations guiding Planned Development Plans as found in Chapter 48. The Planned Development Plan process is used to provide site design information and site-specific development standards. Such design and standards described in the IPDP (as provided herein) can deviate from the details of the General Plan and Zoning Ordinance (including the Regulating Code for the Central Hercules Plan) provided the intent of those documents is met. Accordingly, this Initial Planned Development Plan provides more detailed design information and site-specific development standards with regards to building placement and form, open space design, street design, and architecture in keeping with the intents of the General Plan and Zoning Ordinance.

Should any conflict arise between the provisions of this Initial Planned Development Plan and the Zoning Ordinance, the provisions of this plan shall apply.

### **Central Hercules Plan and Regulating Code**

This IPDP is also consistent with the planning and design intent of the CHP Regulating Code (and specifically therein the Central Quarter District), and its permitted land uses, and the design intent of streets, public frontages, building setbacks, and building heights as described in the Regulating Code. It is the intent of this IPDP to provide the City with sufficient information to be able to clearly make such a finding of consistency with respect to the proposed development.

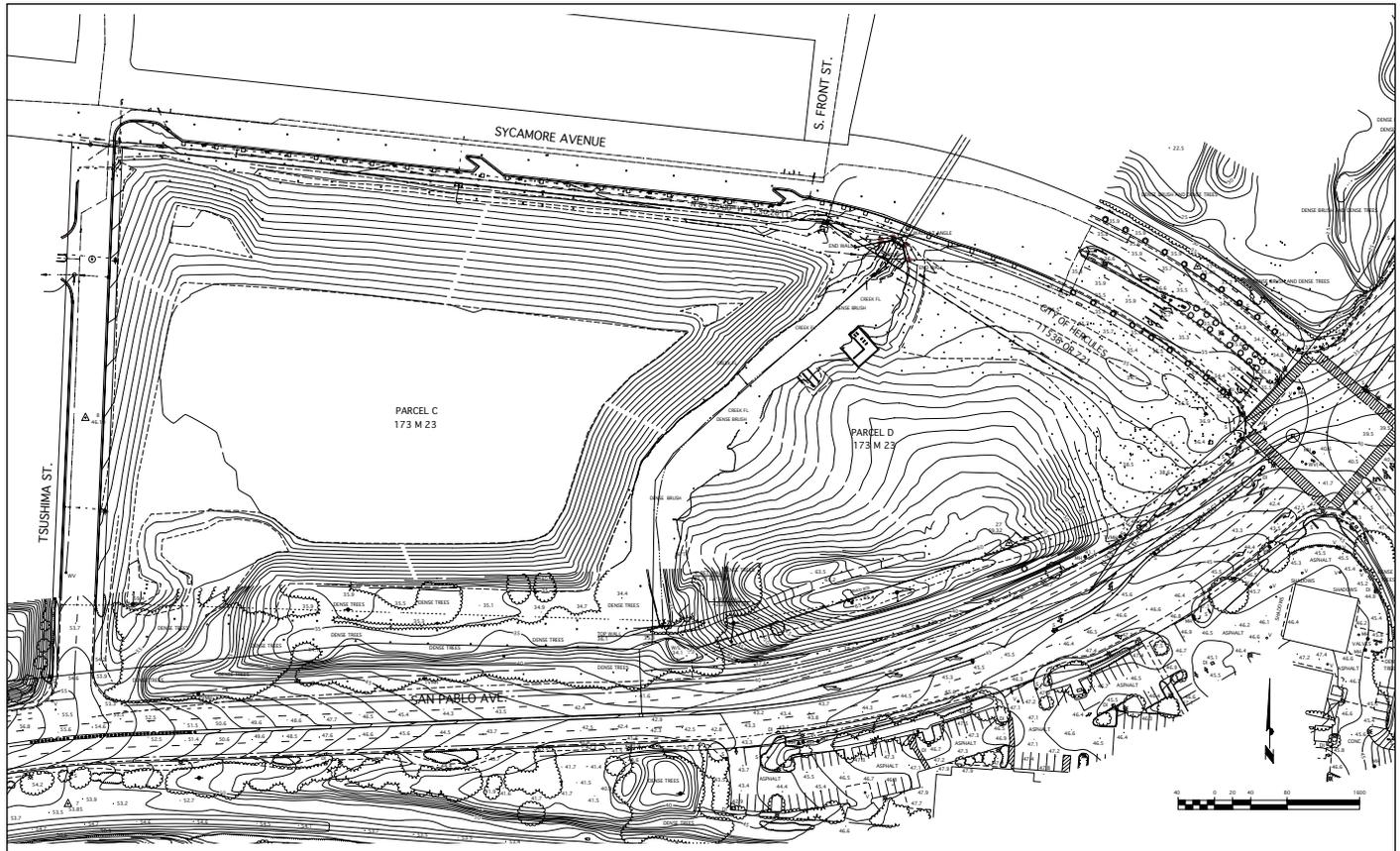
Should any conflict arise between the provisions of this Initial Planned Development Plan and the Central Hercules Plan Regulating Code, the provisions of this plan shall apply.

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## **Authority**

This IPDP ("Plan") is being adopted by the City Council as an Ordinance to regulate development within the project area. In matters on which this Plan is silent, the provisions of the Zoning Ordinance shall apply. Should any conflict arise between the provisions of this Plan and the Central Hercules Plan Regulating Code or Zoning Ordinance, the provisions of this Plan shall apply. In the case of a conflict between this Plan and the California Building Code, the Building Code shall take precedence. In the case of a conflict between this Plan and provisions for Fire and Life Safety, the provisions for Fire and Life Safety may take precedence.

# Existing Conditions



The Sycamore Crossing property comprises two contiguous parcels: Parcel “C” (approximately 8.3 acres) bordered by Tsushima Street to the west, Sycamore Avenue to the north, the West Branch of Refugio Creek to the east, and San Pablo Avenue to the south; and Parcel “D” (approximately 4.1 acres) bordered by the West Branch of Refugio Creek to the west, Sycamore Avenue to the north, and San Pablo Avenue to the south and east.

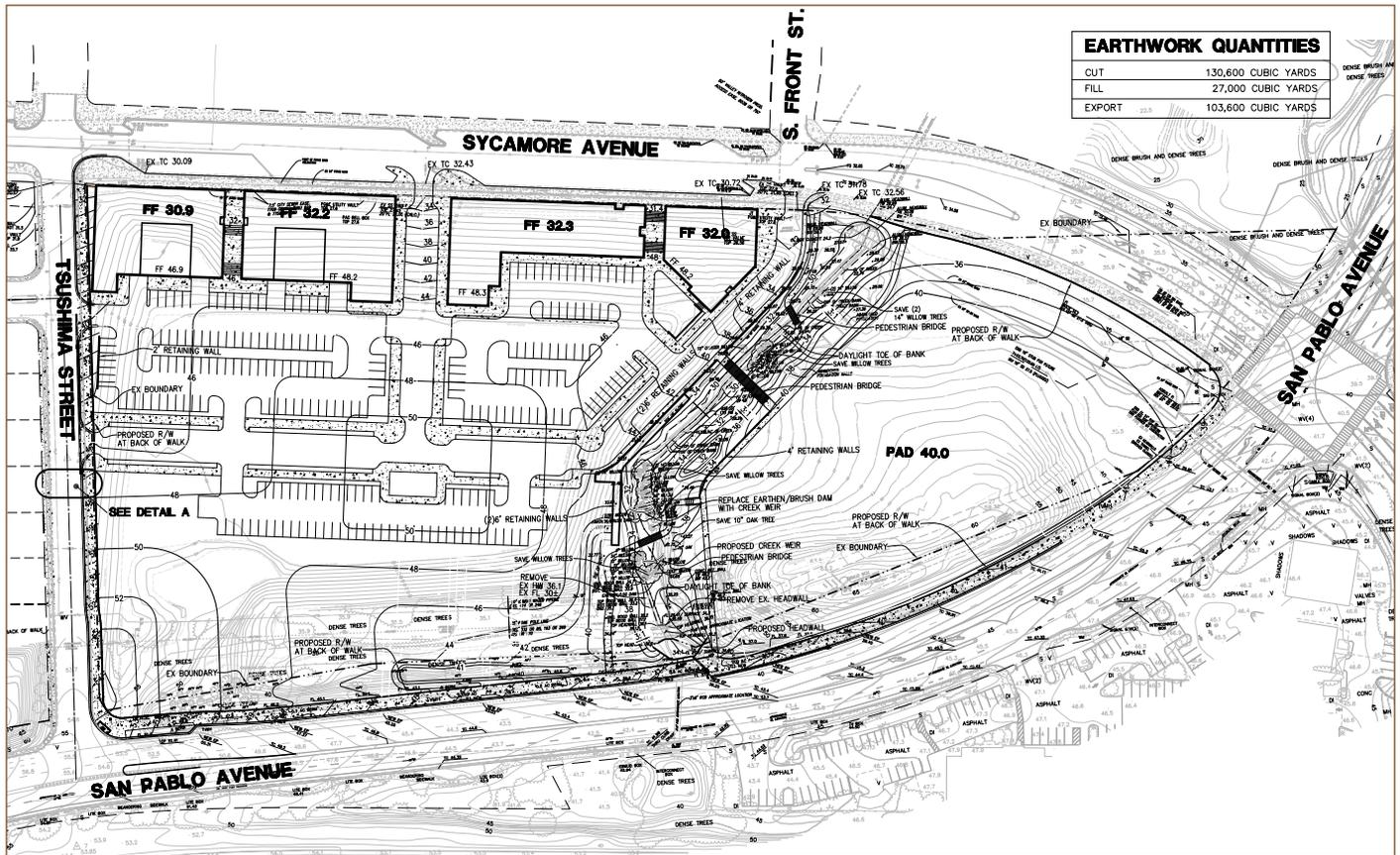
*Above: Site Survey prepared by  
D K Associates - November 2008*

The land is currently vacant of structures. The large majority of the property is dominated by non-native grasses and forbs, growing in disturbed sites with few trees. The West branch of Refugio Creek runs between the two parcels, bisecting the project area and flowing from southwest to northeast. The riparian habitat associated with the drainage totals approximately 1.2 acres.

The other distinguishing feature of the site is a significant off-site balance of soil placed on Parcel “C” in the 1990s. Much of the soil on Parcel “C” will be removed and the site re-graded as described in the Preliminary Grading Plan.

A number of utility lines run parallel to San Pablo Avenue across the southern half of both parcels. A storm drain and joint utility easement is also located in the northern section of parcel “D”, roughly parallel to Sycamore Avenue. On-site utilities will be relocated as necessary prior to each phase of the project.

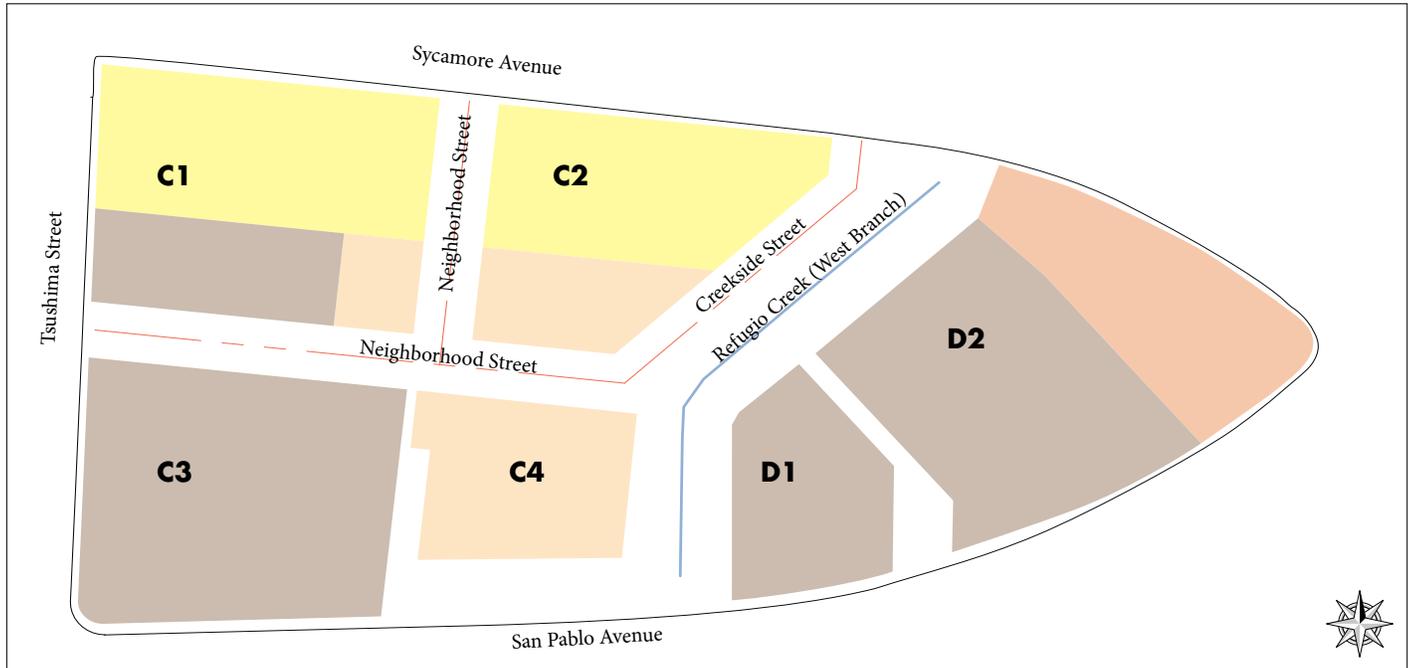
# Preliminary Grading Plan



The first step in preparing the site for development will be the re-grading of the site. The initial grading will prepare Parcel "C" and the creek corridor for the initial development phases and create a pad for future development on Parcel "D." Approximately 103,600 cubic yards of previously placed soil will be removed. After grading, the site will retain some varied topography as it gently slopes north toward Sycamore Avenue and east toward the West branch of Refugio Creek.

*Above: Preliminary Grading Plan for Phase I Prepared by D K Associates and Opticos Design - January 2010. A full sized Preliminary Grading plan has been submitted along with this document.*

# Potential Development Phasing



The new blocks of the Sycamore Crossing project are formed by three new streets, the West branch of Refugio Creek and a minimum of two new pedestrian paths (“paseos”). The original parcels, “C” and “D” are further divided, as follows:

**Development Phasing Key**

- First phase
- Second phase
- Third phase
- Fourth phase

- Block C<sub>1</sub> is bordered by Sycamore Avenue, two new neighborhood streets and Tsushima Street.
- Block C<sub>2</sub> is bordered by Sycamore Avenue, the new creekside street and two new neighborhood streets.
- Blocks C<sub>3</sub> and C<sub>4</sub> are bordered by a new neighborhood street, the West branch of Refugio Creek, San Pablo Avenue and Tsushima Street. A new public pedestrian path divides them into two separate blocks.
- Blocks D<sub>1</sub> and D<sub>2</sub> are bordered by Sycamore Avenue, San Pablo Avenue and the West branch of Refugio Creek. A new public pedestrian path and plaza divide the two into separate blocks.

Development of these blocks will occur over time. It is anticipated that the first phase will be constructed after initial site grading and within 24 to 30 months after final project approval. The remaining phases are anticipated to follow in the next three to five years. This IPDP describes development occurring in four separate phases, as shown in the diagram above and further described in the following pages. However, the third and fourth phases could be combined, developed as one, and could occur sooner depending on market conditions. They are separated in this plan because the existing utilities running adjacent to San Pablo Avenue need to be relocated before the last phase of development can be implemented.

**Phase 1**

Four mixed use buildings will be built along Sycamore Avenue facing Sycamore Downtown – North. The buildings will provide ground floor retail with residential and office uses above. Three new streets will connect through the project site providing direct access from Tsushima and Sycamore. It is anticipated that surface parking behind the buildings will be redeveloped into housing and structured parking in later phases of development.



**Phase 2**

Blocks C3 and C4 will follow in the second phase. Block C4 will accommodate either a boutique hotel of up to 150 rooms or a small to medium-sized retail anchor. Surface parking for the hotel/retail anchor store will be located on Block C3 immediately to the west. With this additional parking provided, Blocks C1 and C2 can be further developed to provide live work housing or additional mixed-use development on former surface parking areas.



**Phase 3**

Block D1 will be developed in a third phase that could overlap or happen concurrently with Phases 2 and 4. Development would include a large building at the intersection of Sycamore and San Pablo Avenues. This could be either a boutique hotel of up to 150 rooms or a commercial building with ground floor retail and office uses above. A central surface parking lot would serve either use and could be redeveloped as later infill occurs.



**Phase 4**

In the final phase of development, Blocks C1, C3, D1 and D2 can accommodate additional development as surface lots are replaced with lined parking structures, commercial buildings along San Pablo Avenue and live/work or residential units along the creek and neighborhood streets.



# Potential Program Summary



The Conceptual Site Plan above is illustrative in nature showing possible building configurations based on the regulations set-forth in this document.

The Estimated Program listed in the table to the right, describes the maximum program for the entire site as studied in the Updated 2009 Redevelopment Plan EIR.

The Project Program Summary on the opposite page provides a more detailed summary of the program by phase based on the Conceptual Site Plan. The Projected Program Summary provides a possible program based on the regulations found within this document and is non-regulatory. The program in the Project Program Summary is within the maximum program for the site studied in the Updated 2009 Redevelopment Plan EIR.

The Project Program Summary indicates two program options for Phase 2 and Phase 3 based on two possible locations for a new boutique hotel and retail anchor. These two potential development scenarios are described in further detail on the following pages and are illustrative only. Final build-out may vary based on market conditions.

Estimated Program in EIR	
Retail	165,000 sf
Office	170,000 sf
Residential	170 units
Hotel	180 rooms
Parking	2 garages

# Potential Project Program Summary

Phase 1					
Block	Units	Office (sq. ft.)	Retail (sq. ft.)	Hotel (rooms)	Parking (spaces)
C1	42		19,200		
C2	0	50,000	22,200		
<b>Phase Total</b>	<b>42</b>	<b>50,000</b>	<b>41,400</b>		<b>430</b>

Option 1 <sup>1</sup> Phase 2					
Block	Units	Office (sq. ft.)	Retail (sq. ft.)	Hotel (rooms)	Parking (spaces)
C1	3		4,800		
C2	8		6,500		
C4				150	
<b>Phase Total</b>	<b>11</b>		<b>11,300</b>	<b>150</b>	<b>135</b>
<b>Sub-Total<sup>2</sup></b>	<b>53</b>	<b>50,000</b>	<b>52,700</b>	<b>150</b>	<b>565</b>

Option 2 <sup>1</sup> Phase 2					
Block	Units	Office (sq. ft.)	Retail (sq. ft.)	Hotel (rooms)	Parking (spaces)
C1	3		4,800		
C2	8		6,500		
C4		24,000	24,000		
<b>Phase Total</b>	<b>11</b>	<b>24,000</b>	<b>35,500</b>		<b>135</b>
<b>Sub-Total<sup>2</sup></b>	<b>53</b>	<b>74,000</b>	<b>76,900</b>		<b>565</b>

Phase 3					
Block	Units	Office (sq. ft.)	Retail (sq. ft.)	Hotel (rooms)	Parking (spaces)
Block D1	0				
Block D2	0	52,800	26,000		
<b>Phase Total</b>	<b>0</b>	<b>52,800</b>	<b>26,000</b>		<b>186</b>
<b>Sub-Total<sup>2</sup></b>	<b>53</b>	<b>102,800</b>	<b>78,700</b>	<b>150</b>	<b>751</b>

Phase 3					
Block	Units	Office (sq. ft.)	Retail (sq. ft.)	Hotel (rooms)	Parking (spaces)
Block D1	0				
Block D2	0		15,200	150	
<b>Phase Total</b>	<b>0</b>		<b>15,200</b>	<b>150</b>	<b>186</b>
<b>Sub-Total<sup>2</sup></b>	<b>53</b>	<b>74,000</b>	<b>92,100</b>	<b>150</b>	<b>751</b>

Phase 4					
Block	Units	Office (sq. ft.)	Retail (sq. ft.)	Hotel (rooms)	Parking (spaces)
Block C1	8				
Block C3	32	36,000	18,000		
Block D1	7	21,000	13,000		
Block D2	12	21,000	13,000		
<b>Phase Total</b>	<b>59</b>	<b>88,000</b>	<b>44,000</b>		<b>243</b>

Summary Option 1							
TOTAL (Option 1)	Area (acres)	Units	Office (sq. ft.)	Retail (sq. ft.)	Hotel (rooms)	Parking (spaces)	DU/A <sup>1</sup>
<b>Sub-Total<sup>2</sup></b>	<b>9.08</b>	<b>112</b>	<b>190,800</b>	<b>122,700</b>	<b>150</b>	<b>994</b>	<b>12.3</b>
Civic Space	2.44						
Street ROW	1.53						
<b>Total<sup>3</sup></b>	<b>13.05</b>	<b>112</b>	<b>190,800</b>	<b>122,700</b>	<b>150</b>		<b>8.6</b>

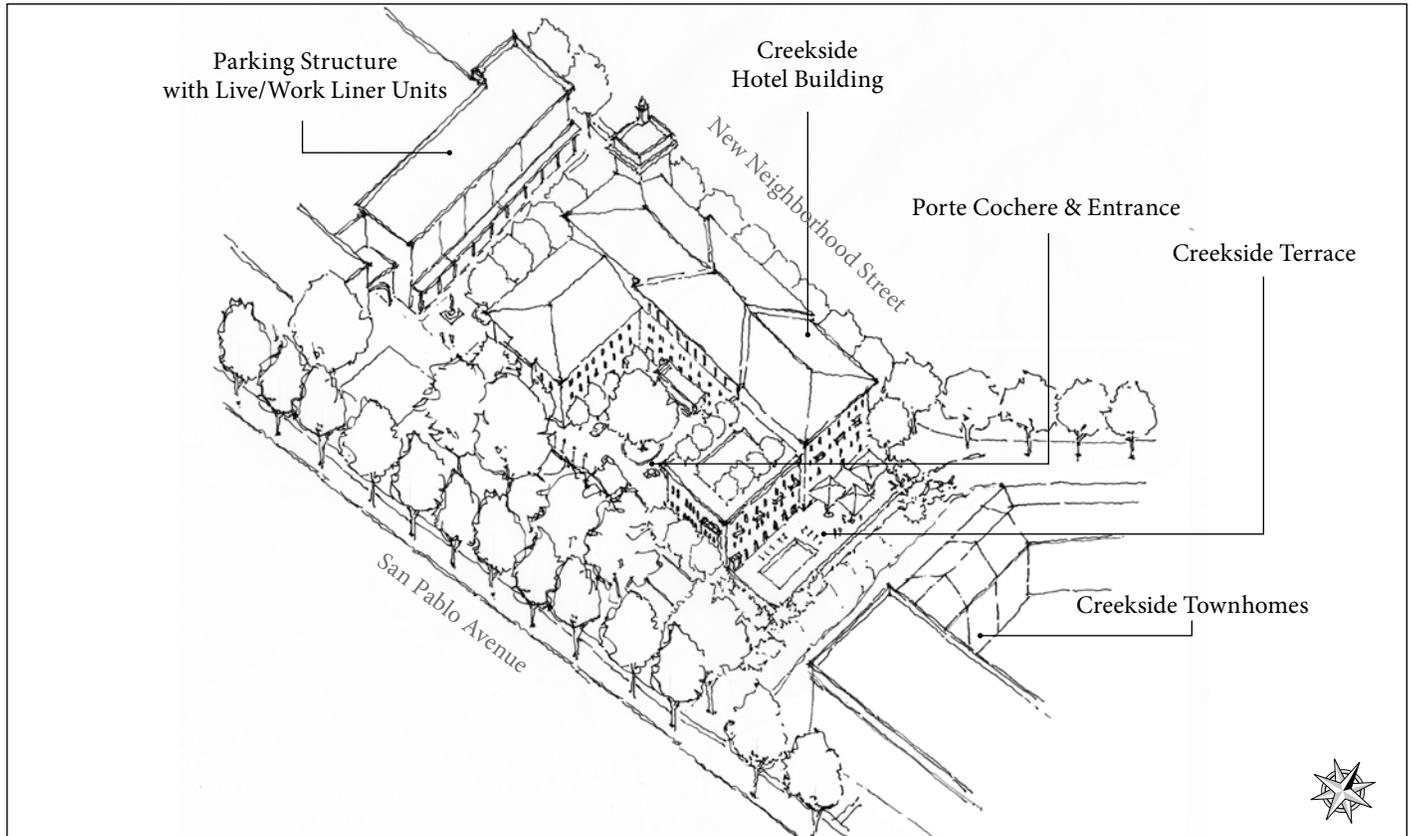
Summary Option 2							
TOTAL (Option 2)	Area (acres)	Units	Office (sq. ft.)	Retail (sq. ft.)	Hotel (rooms)	Parking (spaces)	DU/A <sup>1</sup>
<b>Sub-Total<sup>2</sup></b>	<b>9.08</b>	<b>112</b>	<b>162,000</b>	<b>136,100</b>	<b>150</b>	<b>994</b>	<b>12.3</b>
Civic Space	2.44						
Street ROW	1.53						
<b>Total<sup>3</sup></b>	<b>13.05</b>	<b>112</b>	<b>162,000</b>	<b>136,100</b>	<b>150</b>		<b>8.6</b>

<sup>1</sup>Blocks C4 and D2 are potential locations for a new boutique hotel. The phasing plan allows for the hotel to be built on either site. Thus, the blocks have two development scenarios shown as “Option 1” and “Option 2”.

<sup>2</sup>Sub-Total is cumulative of previous phase(s). Area and Density (DU/A) are based only on developable area, does not include Streets and Civic Space.

<sup>3</sup>Total Area and Density (DU/A) includes Streets and Civic Space. DU/A is for gross site area.

# Potential Development Scenarios



## Hotel on the West Bank of Refugio Creek (Option 1)

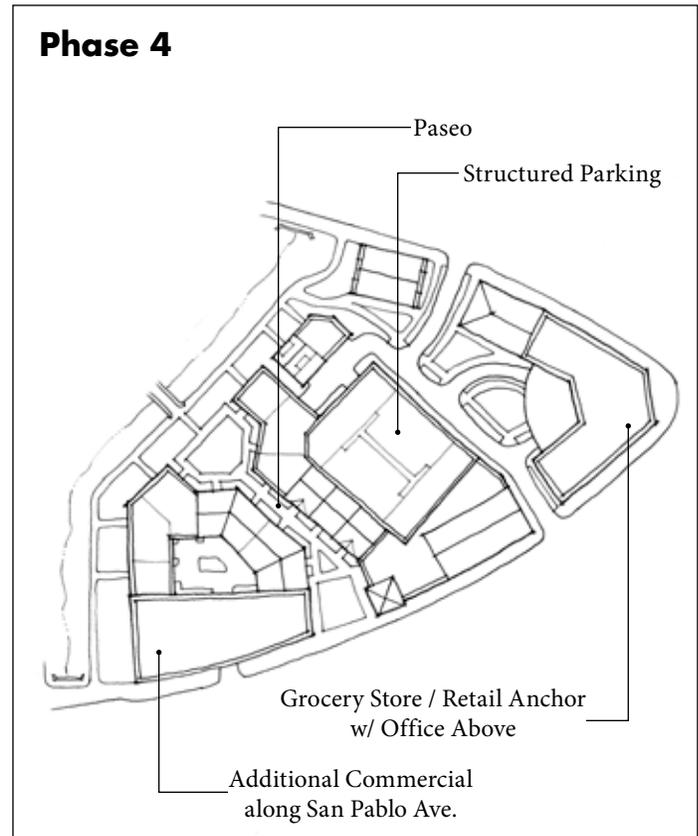
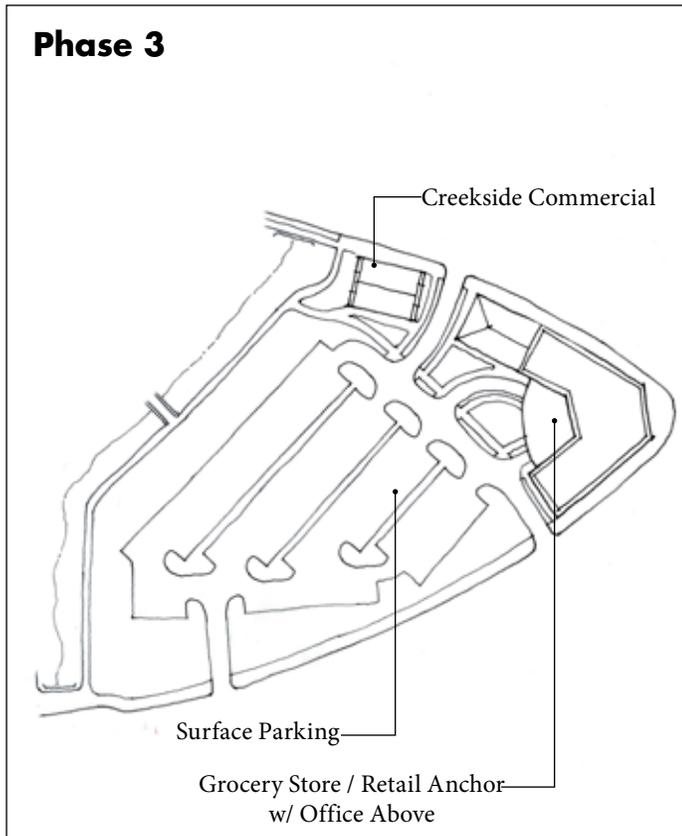
*Perspective of Creekside Hotel*

There are two possible locations for a new boutique hotel at Sycamore Crossing: one on the west bank of Refugio Creek (Block C<sub>4</sub>), and the other to the east of the creek (Block D<sub>2</sub>). In Option 1, as illustrated in the sketch above, the hotel would be nestled amidst the linear green along San Pablo Avenue, the Refugio creek, and the surrounding mixed use development with access from a new neighborhood street. At this location, the hotel would activate the new street and provide a lodging and restaurant destination for pedestrians and shoppers arriving from Sycamore Avenue.

Parking for the hotel could initially be provided in a surface parking lot at the intersection of San Pablo Avenue and Tsushima (Block C<sub>3</sub>). In later phases, a parking structure with a mixed-use liner could be built in this location.

Adjacent Live/Work units lining the parking structure and Townhomes along the east bank of Refugio creek provide urban housing opportunities.



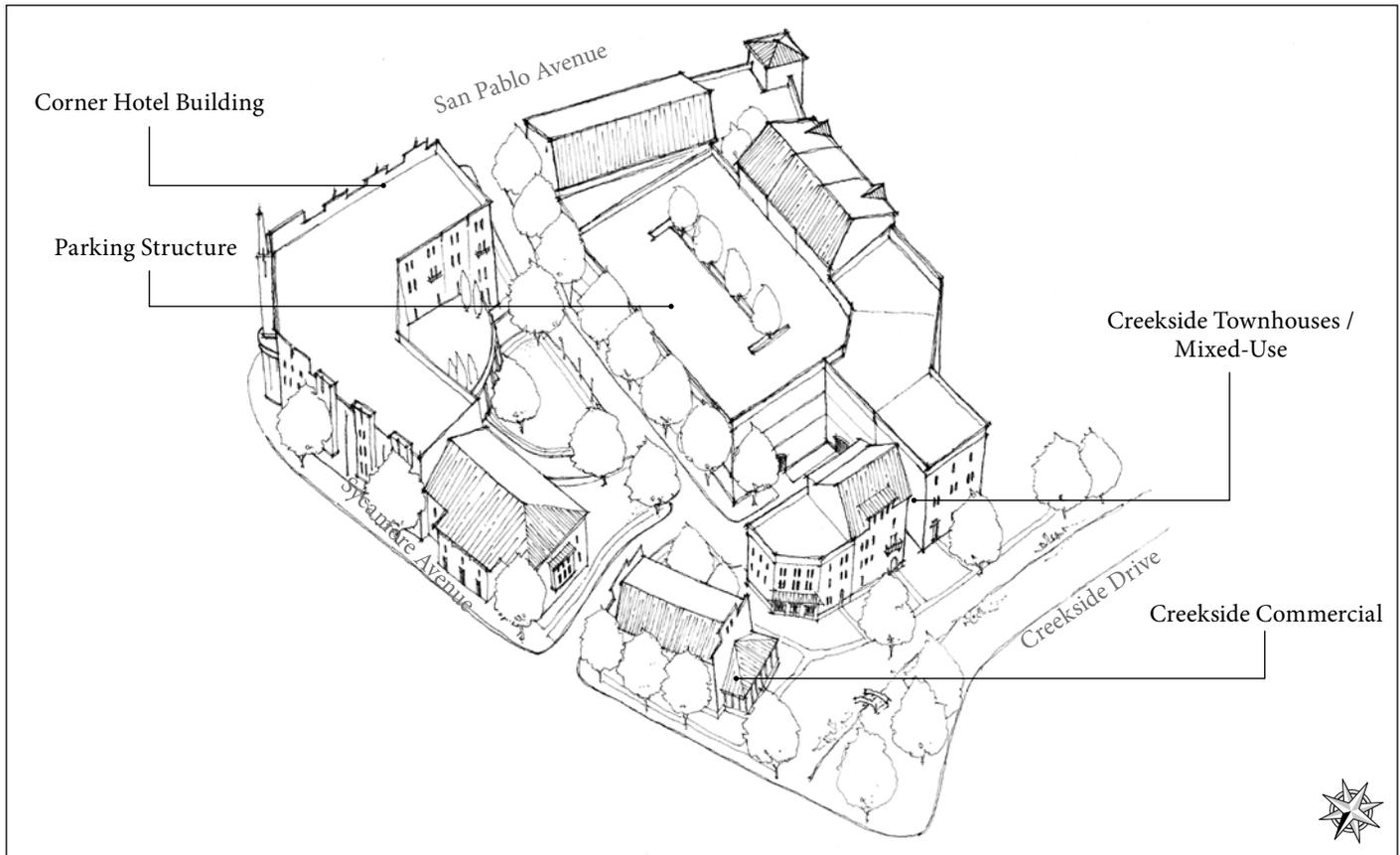


### **Grocery/Retail Anchor at San Pablo Ave. and Sycamore Ave. (Option 1)**

When the new boutique hotel at Sycamore Crossing is located to the West of the creek, Block D2 becomes a potential site for a mixed-use building with a grocery store or retail anchor on ground floor and office space on the upper floors. The office space on upper floors is intended to provide the building at the intersection of San Pablo Avenue and Sycamore Avenue with an appropriate height within the context of the taller office buildings at the New Town Center site on the opposite corner. At this location, the retail anchor and office building would be visible from important transportation routes, including Interstate 80 and serve as a strong visual terminus. The two conceptual plan diagrams above show how the grocery/retail anchor could be developed over two phases so that short-term surface parking would be replaced with structured parking and further mixed-use development.

Townhomes at the edge of blocks D1 and D2 provide a residential frontage along the enhanced creek corridor. A pedestrian connection across the creek provides additional connectivity to the retail along Sycamore Avenue in Blocks C1 and C2.

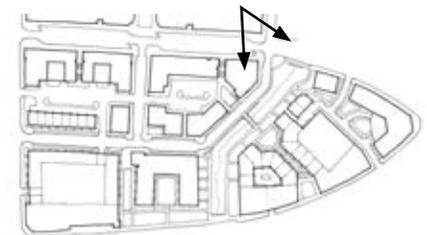
The creekside commercial building helps enhance the pedestrian connection from the two sided retail along Sycamore Avenue just to the west and the commercial development at the intersection by providing an intermediate commercial frontage.



**Hotel and Mixed Use Development East of Refugio Creek (Option 2)**

*Perspective East of Refugio Creek*

This second alternative is illustrated in the above sketch. The hotel is shown at the corner of Sycamore and San Pablo Avenue with an internal entrance across from a central parking structure. At this location, the hotel would be visible from important transportation routes, including Interstate 80. Other ground floor commercial uses along Sycamore and San Pablo Avenues would provide a consistent urban character for pedestrians and others on the street. The hotel would then serve as a strong visual terminus at this intersection of the two streets.



In early phases, parking for the hotel could be provided in surface parking lots on Block D<sub>2</sub>.

Townhouses, Live/Work units, and small scaled retail buildings line the parking structure and Refugio creek, establishing a residential character oriented away from the more commercial edges of the project.

When the boutique hotel is located on Block D<sub>2</sub>, a retail anchor can be accommodated on Blocks C<sub>3</sub> or C<sub>4</sub>. Parking for a retail anchor on Block C<sub>4</sub> could initially be accommodated in a temporary surface parking lot on Block C<sub>3</sub> that is accessed off of Tsushima Street and could ultimately be replaced with structured parking. A retail anchor on block C<sub>3</sub> would likely be built in as a component of a building containing structured parking. Due to traffic and circulation concerns, block C<sub>4</sub> is not an ideal location ideal for surface parking.



*Above: Conceptual perspective along the creek corridor*



*Left: Conceptual perspective from the public plaza along Sycamore Avenue that will be constructed as a part of the Sycamore Downtown – North project.*

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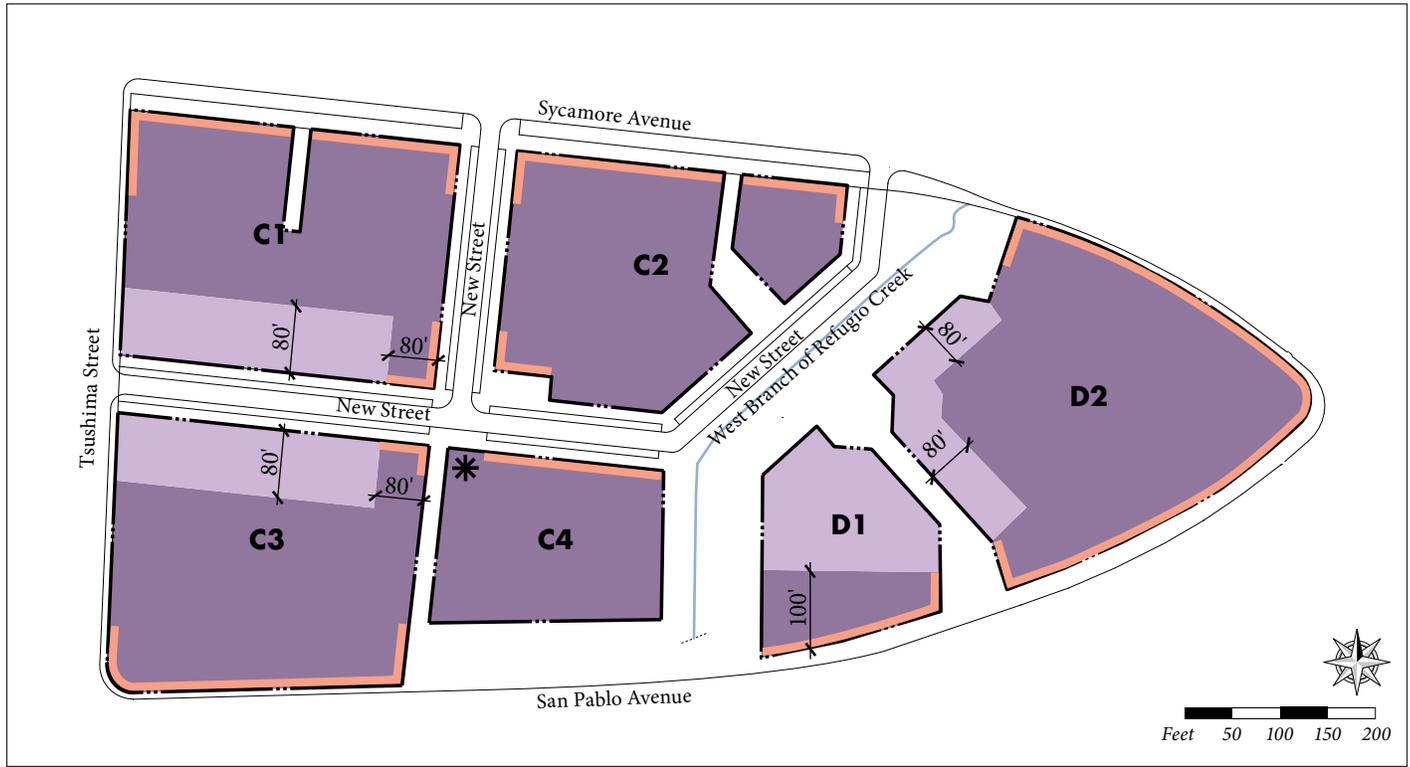
## Introduction

The Building Form Standards Chapter establishes the Urban Regulations for Sycamore Crossing, a 12-acre site within the Central Quarter district of the Central Hercules Plan. This Code is intended to provide a more specific description of the anticipated physical form and distribution of land use than the Central Hercules Plan.

This chapter includes a Regulating Plan that designates Regulating Zones for the different areas within Sycamore Crossing, a brief description of each zone, and detailed Building Form Standards for each zone. Each zone has a distinct set of Building Form Standards that define the physical form of the built environment. The standards establish specific physical and use parameters for each regulating zone including:

- Building Placement
- Building Form
- Parking Location and Requirements
- Allowed Frontage Types and Encroachments
- Allowed Use Types
- Additional Standards for All Zones

# Building Form Regulating Plan



### Building Form Regulating Zones

- T5-MS: Main Street
- T4-NG: Neighborhood General
- \* Focal Point Required

Dimensions on plan indicate maximum depth of zones in areas indicated.

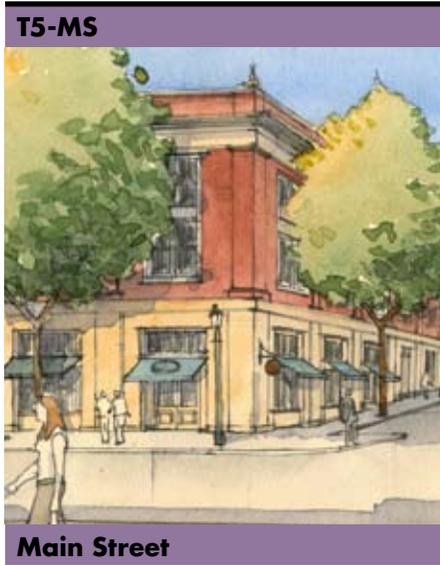
### Frontage Overlay

- Building facades are required to use the shopfront frontage type, either independently or in combination with another frontage type as described in the shopfront frontage standards on page 2-16.

*Should the regulations shown on the overlay on this regulating plan conflict with regulations in the zone standards, the regulations on this regulating plan shall prevail.*

# Building Form Zone Descriptions

*General Note: These zone descriptions are intended to provide a brief overview of each of the zones on the Building Form Regulating Plan. Specific regulations by zone are located on the following pages.*



**T5-MS**

**Main Street**

**Purpose:**  
To encourage development of a neighborhood serving commercial district within the Hercules Central Quarter.

**Use Mix:**

Vertical mixed use with retail or commercial on the ground floor and residential or commercial above.

**Heights:**

2-5 Stories



**T4-NG**

**Neighborhood General**

**Purpose:**  
To encourage a residential neighborhood within close proximity of retail in order to support the 'main street' uses in the Hercules Central Quarter.

**Use Mix:**

Primarily residential uses in medium density building types that can evolve over time to provide additional mixed use opportunities in the future.

**Heights:**

2-4 Stories

# Composite Use Table

**Table 2.1: Sycamore Crossing Composite Use Table**

Uses not listed are specifically prohibited unless the Director determines that a use is consistent pursuant to the Code.

Land Use Type <sup>1</sup>	Specific Use Restrictions	T5—MS	T4—NG
<b>Agriculture &amp; Resources</b>			
Farmers' Market		P	P
<b>Recreation, Education &amp; Public Assembly</b>			
Commercial recreation facility: Indoor	≤3,000sf	AUP	—
	>3,000sf	CUP	—
Health/fitness facility	≤3,000sf	AUP	AUP
	>3,000sf	CUP <sup>2</sup>	—
Library, museum		P	—
Meeting or educational facility, public or private		P <sup>2</sup>	—
Park, playground		AUP	AUP
Studio: Art, dance, martial arts, music, etc.	≤3,000sf	P	AUP
	>3,000sf	AUP	—
Theater (cinema or performing arts)	≤10,000sf	AUP	—
	>10,000sf	CUP	—
<b>Residential</b>			
Home occupation		AUP <sup>2</sup>	AUP
Live/Work		AUP	P
Mixed use project, residential component		P <sup>2</sup>	P
Multi-Family Housing		—	P
Residential accessory use or structure		—	P
Residential care	≤ 6 Clients	P <sup>2</sup>	P
	> 6 Clients	P <sup>2</sup>	AUP
Secondary or carriage units		—	P
<b>Retail</b>			
Eating or drinking establishment, except with any of the following features:		P	AUP
Alcoholic beverage sales	<50% gross revenue	AUP	CUP
	>50% gross revenue	CUP	—
Operating between	11pm-5am	CUP	—
General retail, except with any of the following features:		P	P
Alcoholic beverage sales	<25% gross revenue	AUP	CUP
	>25% gross revenue	CUP	—
Floor area	>5,000sf	AUP	—
	>25,000sf	CUP	—
On-site production of goods sold	≤5,000sf	AUP	CUP
	>5,000sf	CUP	—
	>10,000sf	—	—
Operating between	11pm-5am	CUP	—
Neighborhood market, except with any of the following features:		P	AUP
Alcoholic beverage sales	<25% gross revenue	AUP	CUP
	>25% gross revenue	CUP	—
Floor area	>5,000sf	P	—
	>10,000sf	AUP	—
Operating between	11pm-5am	CUP	—

Land Use Type <sup>1</sup>	Specific Use Restrictions	T5—MS	T4—NG
<b>Services: Business, Financial, Professional</b>			
ATM		P	—
Bank, financial services		P	—
Business support services		P	—
Medical services: Doctor's office		P <sup>2</sup>	—
Office:			
Business, service		P <sup>2</sup>	—
Professional, administrative	≤5,000sf	P <sup>2</sup>	AUP
	>5,000sf	AUP <sup>2</sup>	—
<b>Services: General</b>			
Day Care, Child or Adult:			
Day Care Center		P <sup>2</sup>	—
Family Day Care Home, Large		P <sup>2</sup>	—
Family Day Care Home, Small		P <sup>2</sup>	P
Lodging:			
Hotel		CUP <sup>3</sup>	CUP
Bed & Breakfast Inn (B&B)	≤ 6 Rooms	P <sup>3</sup>	P
	> 6 Rooms	P <sup>3</sup>	CUP
Public safety facility		AUP	AUP
Personal services	≤2,500sf	P	AUP
	≤5,000sf	AUP	—
	>5,000sf	AUP	—
<b>Transportation, Communications, Infrastructure</b>			
Parking facility, public or commercial		P	P
Wireless telecommunications facility		CUP	—

<b>Key</b>	
P	Permitted Use
AUP	Administrative Use Permit Required
CUP	Conditional Use Permit Required
-	Not Allowed

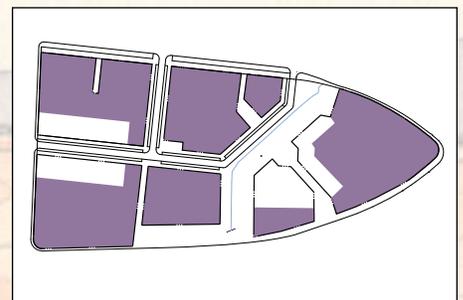
<b>End Notes</b>	
<sup>1</sup>	A definition of each listed use type is in the Appendix.
<sup>2</sup>	Allowed only on upper floors or behind ground-floor use.
<sup>3</sup>	Guest rooms only allowed on upper floors or behind ground floor use.

# T5-MS: Main Street Standards

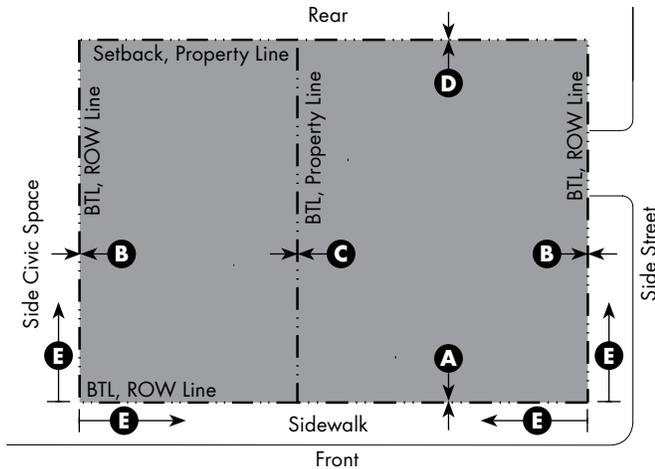


### Zone Intent and Description

The Main Street Zone is a mixed-use area that could include a retail anchor tenant and a boutique hotel, as well as a healthy mix of retail, office and residential opportunities. Mixed-use in this area is defined by vertical mixed use with retail or commercial on the ground floor and residential or commercial above. The primary purpose of this zone is to encourage development of a neighborhood serving commercial district at the heart of the Hercules Central Quarter.

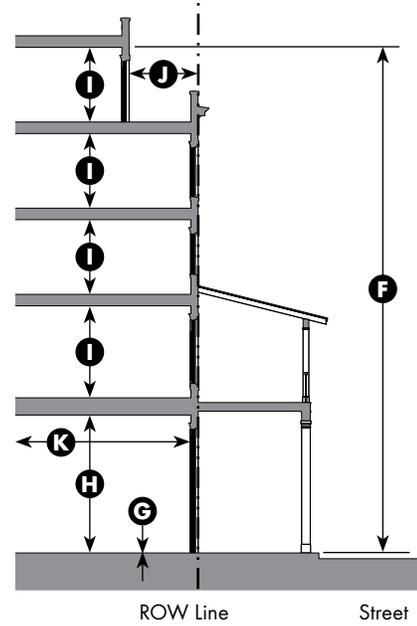


# T5-MS: Main Street Standards



**Key**

- ROW / Property Line
- Setback Line
- Build-to Line (BTL)
- Building Area



**Building Placement**

**Build-to Line (Distance from Right of Way)**

Front	0'	<b>A</b>
Side Street / Side Civic Space	0' min.; 12' max. <sup>1</sup>	<b>B</b>
Side	0'	<b>C</b>
<b>% of BTL Defined by a Building</b>		
Front	80% min.	
Side Street / Side Civic Space	60% min.	

<sup>1</sup> The BTL for the first building to receive planning department approval becomes the set BTL (within the range permitted) along that frontage. All subsequent buildings along the frontage must match the first building's BTL.

**Setback (Distance from Property Line or ROW)**

Rear	0' min.	<b>D</b>
	5' min. adjacent to T4	

**Miscellaneous**

Buildings must be built to the BTL along each facade within 30' of a corner along the Front. **E**

Consult the definition of "Front" in the Appendix for direction on determining which frontage(s) is the Front.

<sup>1</sup> A building form with a chamfered corner is permitted only if a corner entry is provided.

**Building Form**

**Height**

Building	2 Stories min.	<b>F</b>
	5 Stories max. <sup>1</sup>	
Ground Floor Finish Level	6" max.	<b>G</b>
Ground Floor Ceiling		<b>H</b>
Sycamore Avenue	14' min. clear	
Other Street / Civic Space	12' min. clear	
Upper Floor(s) Ceiling	8'-6" min. clear	<b>I</b>
<sup>1</sup> 5th story must be setback 8' min.		<b>J</b>

**Footprint**

Depth, Ground-floor Commercial Space along Front		<b>K</b>
Sycamore Avenue	60' min.	
Other Street / Civic Space	30' min.	

**Miscellaneous**

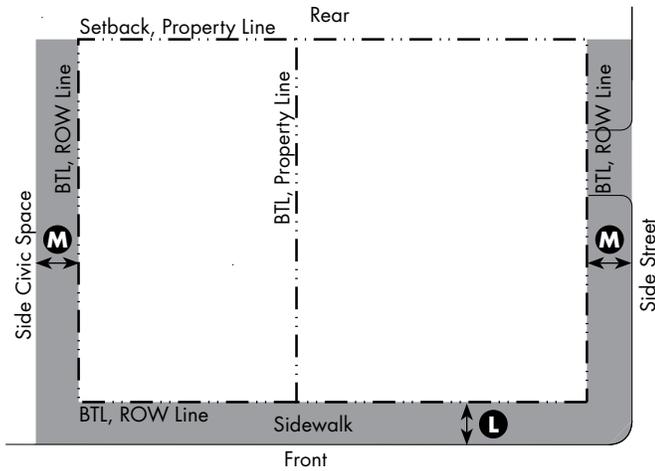
Distance between Entries	
To Ground Floor Uses	50' max.

All floors must have a primary entrance along the Front.

Service entries may not be located on Sycamore Avenue.

Buildings with facades longer than 200' must be designed to read as a series of buildings no wider than 150' each.

# T5-MS: Main Street Standards



**Key**

- ROW / Property Line      --- Setback Line
- Build-to Line (BTL)      ■ Encroachment Area

**Frontage Types and Encroachments**

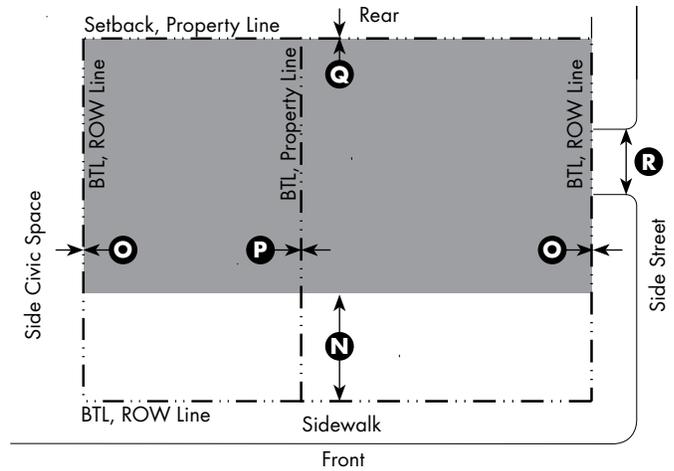
Encroachments		
Front	14' max.	<b>L</b>
Side Street / Side Civic Space	14' max.	<b>M</b>
Rear Setbacks $\geq$ 5'	5' max.	

Encroachments are not allowed across a side or rear property line, or beyond a street curb.

**Allowed Frontage Types<sup>1</sup>**

Allowed Frontage Types:	Page:
Shopfront	2-16
Gallery	2-17
Commercial Terrace	2-18
Forecourt	2-19
Dooryard	2-20

<sup>1</sup> See the Frontage Standards for a descriptions and regulations for each Frontage Type.



**Key**

- ROW / Property Line      --- Setback Line
- Build-to Line (BTL)      ■ Parking Area

**Parking**

Required Spaces	
Residential Uses	1 space/1500sf min. <sup>1</sup>
Commercial Uses	2 spaces/1000sf min.;
	4 spaces/1000sf max.

<sup>1</sup> No parking spaces are required for affordable housing units (below market rate) or senior housing units.

**Location (Distance from BTL or Setback)**

Front		<b>N</b>
Ground Floor	30' min. <sup>1</sup>	
Upper Floors	0' min.	
Side Street	0' min.	<b>O</b>
Side	0' min.	<b>P</b>
Rear	0' min.	<b>Q</b>

<sup>1</sup> Parking location must also accommodate the minimum depths regulated under Building Form - Footprint on p. 2-6.

**Miscellaneous**

Parking Drive Width	20' max.	<b>R</b>
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All exposed structured parking must be architecturally incorporated in to the facade composition.

See Parking Standards for all Zones on page 2-13 for additional parking standards.

# T5-MS: Main Street Standards

**Table 2.2: Main Street Use Table**

Uses not listed are specifically prohibited unless the Director determines that a use is consistent pursuant to the Code.

Land Use Type <sup>1</sup>	Specific Use Restrictions	T5-MS	Land Use Type <sup>1</sup>	Specific Use Restrictions	T5-MS
<b>Agriculture &amp; Resources</b>			<b>Services: Business, Financial, Professional</b>		
Farmers' Market		P	ATM		P
<b>Recreation, Education &amp; Public Assembly</b>			Bank, financial services		P
Commercial recreation facility: Indoor	≤3,000sf	AUP	Business support services		P
	>3,000sf	CUP	Medical services: Doctor's office		P <sup>2</sup>
Health/fitness facility	≤3,000sf	AUP	Office:		
	>3,000sf	CUP <sup>2</sup>	Business, service		P <sup>2</sup>
Library, museum		P	Professional, administrative	≤5,000sf	P <sup>2</sup>
Meeting or educational facility, public or private		P <sup>2</sup>		>5,000sf	AUP <sup>2</sup>
Park, playground		AUP	<b>Services: General</b>		
Studio: Art, dance, martial arts, music, etc.	≤3,000sf	P	Day Care, Child or Adult:		
	>3,000sf	AUP	Day Care Center		P <sup>2</sup>
Theater (cinema or performing arts)	≤10,000sf	AUP	Family Day Care Home, Large		P <sup>2</sup>
	>10,000sf	CUP	Family Day Care Home, Small		P <sup>2</sup>
<b>Residential</b>			Lodging:		
Home occupation		AUP <sup>2</sup>	Hotel		CUP <sup>3</sup>
Live/Work		AUP	Bed & Breakfast Inn (B&B)	≤ 6 Rooms	P <sup>3</sup>
Mixed use project, residential component		P <sup>2</sup>		> 6 Rooms	P <sup>3</sup>
Residential care	≤ 6 Clients	P <sup>2</sup>	Public safety facility		AUP
	> 6 Clients	P <sup>2</sup>	Personal services	≤2,500sf	P
<b>Retail</b>				≤5,000sf	AUP
Eating or drinking establishment, except with any of the following features:		P		>5,000sf	AUP
Alcoholic beverage sales	<50% gross revenue	AUP	<b>Transportation, Communications, Infrastructure</b>		
	>50% gross revenue	CUP	Parking facility, public or commercial		P
Operating between	11pm-5am	CUP	Wireless telecommunications facility		CUP
General retail, except with any of the following features:		P			
Alcoholic beverage sales	<25% gross revenue	AUP			
	>25% gross revenue	CUP			
Floor area	>5,000sf	AUP			
	>25,000sf	CUP			
On-site production of goods sold	≤5,000sf	AUP			
	>5,000sf	CUP			
	>10,000sf	-			
Operating between	11pm-5am	CUP			
Neighborhood market, except with any of the following features:		P			
Alcoholic beverage sales	<25% gross revenue	AUP			
	>25% gross revenue	CUP			
Floor area	>5,000sf	P			
	>10,000sf	AUP			
Operating between	11pm-5am	CUP			

Key	
P	Permitted Use
AUP	Administrative Use Permit Required
CUP	Conditional Use Permit Required
-	Not Allowed

**End Notes**

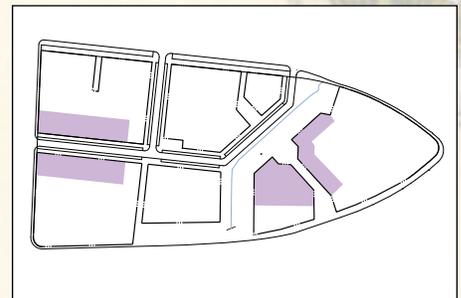
- <sup>1</sup> A definition of each listed use type is in the Appendix.
- <sup>2</sup> Allowed only on upper floors or behind ground-floor use.
- <sup>3</sup> Guest rooms only allowed on upper floors or behind ground floor use.

# T4-NG: Neighborhood General Standards

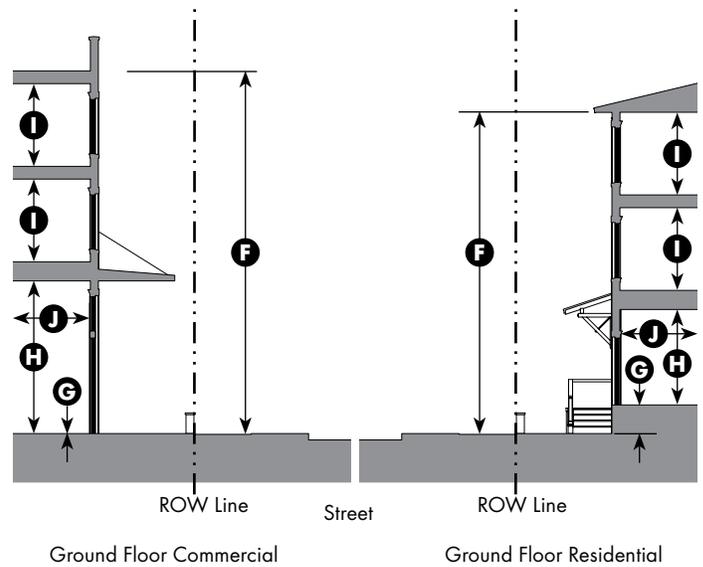
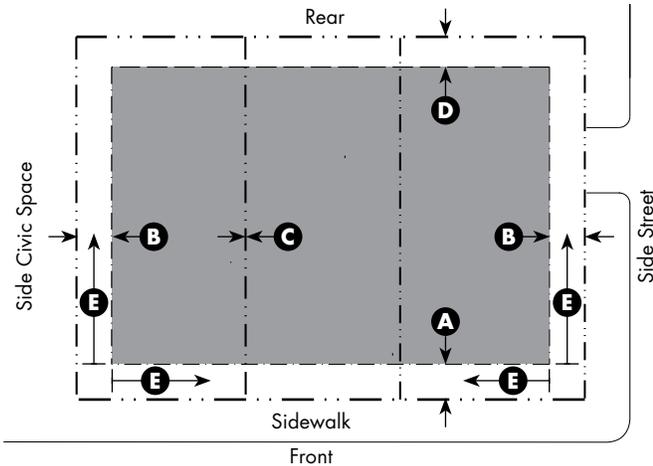


## Zone Intent and Description

The Neighborhood General zone is a residential area that provides residences within close proximity of retail. The purpose of this zone is to provide residences that support the 'main street' uses in the Hercules Central Quarter with building forms that can evolve over time to provide additional mixed use opportunities as demand in this area increases for a walkable, pedestrian-oriented commercial center.



# T4-NG: Neighborhood General Standards



**Key**

- ROW / Property Line
- Setback Line
- Build-to Line (BTL)
- Building Area

**Building Placement**

**Build-to Line (Distance from Right of Way)**

Front	8' min.; 12' max. <sup>1</sup>	<b>A</b>
Side Street / Side Civic Space	Equal to Front	<b>B</b>
% of BTL Defined by a Building		
Front	60% min.	
Side Street / Side Civic Space	60% min.	

<sup>1</sup> The BTL for the first building to receive planning department approval becomes the set BTL (within the range permitted) along that frontage. All subsequent buildings along the frontage must match the first building's BTL.

**Setback (Distance from Property Line or ROW)**

Side	0' min.; 10' max.	<b>C</b>
Rear	5' min.	<b>D</b>

**Miscellaneous**

Buildings must be built to the BTL along each facade within 30' of a corner along the Front.<sup>1</sup> **E**

Consult the definition of "Front" in the Appendix for direction on determining which frontage(s) is the Front.

<sup>1</sup> A building form with a chamfered corner is permitted only if a corner entry is provided.

**Building Form**

**Height**

Building Height	2 Stories min. 4 Stories max.	<b>F</b>
Ground Floor Finish Level <b>G</b>		
Commercial Uses	6" max.	
Residential Uses	18" min.	
Ground Floor Ceiling <b>H</b>		
Commercial Uses	12' min. clear	
Residential Uses	10' min. clear	
Upper Floor(s) Ceiling <b>I</b>		
<b>Footprint</b>		
Depth, Ground-floor Commercial Space	24' min.	<b>J</b>
Depth, Ground-floor Residential Space	12' min.	<b>J</b>

**Miscellaneous**

Distance between Entries  
 To Upper Floor(s) 80' max.

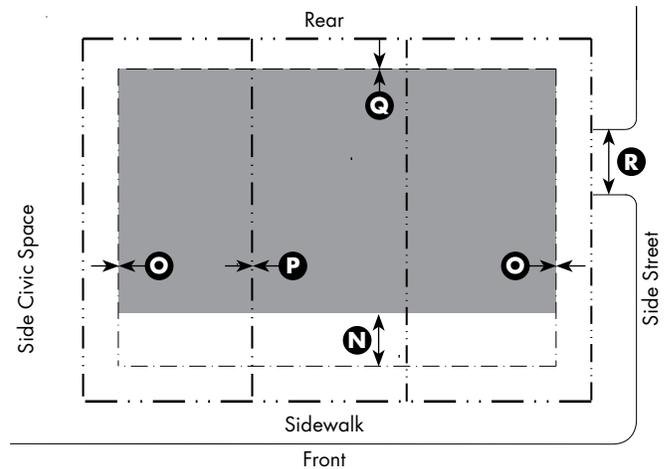
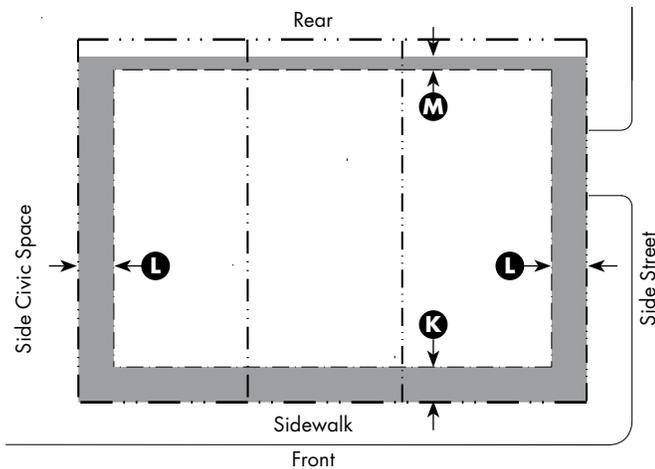
All upper floors must have a primary entrance along the Front.

All ground floor units fronting a street must have a direct entry to the unit from the street or from a forecourt along the street.

Service entries may not be located along streets or civic spaces.

Any buildings wider than 100' must be designed to read as a series of buildings no wider than 80' each.

# T4-NG: Neighborhood General Standards



**Key**

- ROW / Property Line
- Build-to Line (BTL)
- Setback Line
- Encroachment Area

**Key**

- ROW / Property Line
- Build-to Line (BTL)
- Setback Line
- ▨ Below-Grade Parking Area
- Above-Grade Parking Area

**Frontage Types and Encroachments**

Encroachments		
Front	12' max.	<b>K</b>
Side Street / Side Civic Space	12' max.	<b>L</b>
Side Setbacks	Up to 5' from Prop. Line max.	
Rear Setbacks	5' max.	<b>M</b>

Encroachments are not allowed within a street Right of Way, or across a property line.

**Allowed Frontage Types<sup>1</sup>**

Allowed Frontage Types:	Page:
Shopfront	2-16
Commercial Terrace	2-18
Forecourt	2-19
Dooryard	2-20
Residential Terrace	2-21
Stoop	2-22
Porch <sup>2</sup>	2-23

<sup>1</sup> See the Frontage Standards for a descriptions and regulations for each Frontage Type.

<sup>2</sup> Allowed for frontages along the Refugio Creek only.

**Parking**

**Required Spaces**

Residential Uses	1 space/1500sf min. <sup>1</sup>
Commercial Uses	2 spaces/1000sf min.;
	4 spaces/1000sf max.

<sup>1</sup> No parking spaces are required for affordable housing units (below market rate) or senior housing units.

**Location (Distance from BTL or Setback)**

Front	12' min. <sup>1</sup>	<b>N</b>
Side Street / Side Civic Space	0' min.	<b>O</b>
Side	0' min.	<b>P</b>
Rear	0' min.	<b>Q</b>

<sup>1</sup> Parking location must also accommodate the minimum depths regulated under Building Form - Footprint on p. 2-10.

**Miscellaneous**

Parking Drive Width	20' max.	<b>R</b>
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See Parking Standards for all Zones on page 2-13 for additional parking standards.

# T4-NG: Neighborhood General Standards

**Table 2.3: Neighborhood General Use Table**

Uses not listed are specifically prohibited unless the Director determines that a use is consistent pursuant to the Code.

Land Use Type <sup>1</sup>	Specific Use Restrictions	T4-NG	Land Use Type <sup>1</sup>	Specific Use Restrictions	T4-NG
<b>Agriculture &amp; Resources</b>			<b>Services: Business, Financial, Professional</b>		
Farmers' Market		P	Office:		
<b>Recreation, Education &amp; Public Assembly</b>			Professional, administrative	≤5,000sf	AUP
Health/fitness facility	≤3,000sf	AUP	<b>Services: General</b>		
Park, playground		AUP	Day Care, Child or Adult:		
Studio: Art, dance, martial arts, music, etc.	≤3,000sf	AUP	Family Day Care Home, Small		P
<b>Residential</b>			Lodging:		
Home occupation		AUP	Hotel		CUP
Live/Work		P	Bed & Breakfast Inn (B&B)	≤ 6 Rooms	P
Mixed use project, residential component		P		> 6 Rooms	CUP
Multi-Family Housing		P	Public safety facility		AUP
Residential accessory use or structure		P	Personal services	≤2,500sf	AUP
Residential care	≤ 6 Clients	P	<b>Transportation, Communications, Infrastructure</b>		
	> 6 Clients	AUP	Parking facility, public or commercial		P
Secondary or carriage units		P			
<b>Retail</b>					
Eating or drinking establishment, except with any of the following features:		AUP			
Alcoholic beverage sales	<50% gross revenue	CUP			
	>50% gross revenue	—			
Operating between	11pm-5am	—			
General retail, except with any of the following features:		P			
Alcoholic beverage sales	<25% gross revenue	CUP			
	>25% gross revenue	—			
Floor area	>5,000sf	—			
On-site production of goods sold	≤5,000sf	CUP			
	>5,000sf	—			
Operating between	11pm-5am	—			
Neighborhood market, except with any of the following features:		AUP			
Alcoholic beverage sales	<25% gross revenue	CUP			
	>25% gross revenue	—			
Floor area	>5,000sf	—			
	>10,000sf	—			
Operating between	11pm-5am	—			

Key	
P	Permitted Use
AUP	Administrative Use Permit Required
CUP	Conditional Use Permit Required
-	Not Allowed

**End Notes**

- <sup>1</sup> A definition of each listed use type is in the Appendix.
- <sup>2</sup> Allowed only on upper floors or behind ground-floor use.
- <sup>3</sup> Guest rooms only allowed on upper floors or behind ground floor use.

## Additional Standards for all Zones

### Open Space Standards for all Zones

The Civic Space Standards set forth in Chapter 3 of this document provide the regulations for the Civic and Open Space within Sycamore Crossing.

### Stormwater Quality Standards for all Zones

For regulations for Stormwater Quality Management, see Appendix B: Stormwater Quality Standards (p.6-9).

### Parking Standards for all Zones

#### Parking Requirements

100% of the on-street parking spaces located adjacent to the lot may be used to meet parking requirements.

Shared parking may be used to meet parking requirements.

Off-site parking within 1,250' may be used to meet parking requirements for Commercial uses.

Off-site parking within 600' may be used to meet parking requirements for Residential uses.

For live/work units less than 2,500sf, the required parking shall be based on the applicable parking standard for residential use.

For live/work units equal to or greater than 2,500sf, the required parking shall be based on the applicable parking standards for commercial uses.

Bicycle parking must be provided at a minimum ratio of 1 bicycle space for every 10 vehicular spaces with a maximum requirement of 20 bicycle spaces.

### Parking Standards for all Zones (continued)

#### Parking Space Design

Except for designated disabled parking spaces, no parking spaces shall be required to be individually-accessible. Tandem, stacking, and valet parking may be used to meet parking requirements.

Off-street parking spaces are not required to be covered.

Parking spaces shall generally be designed according to the dimensions found in the Hercules Zoning Ordinance.

Shared drives are encouraged between adjacent lots to minimize curb cuts along the street.

Parking spaces may be directly accessed from an alley.

On corner lots, all drives shall be located on the alley or side street.

On corner lots less than 100' wide, maximum length of 60' of parking podium or garage is allowed along a side street.

Underground parking may be placed up to the ROW or Property Line.

Underground parking must not be visible to pedestrians.

Bicycle parking must be provided in a secure environment in residential buildings with more than 4 units.

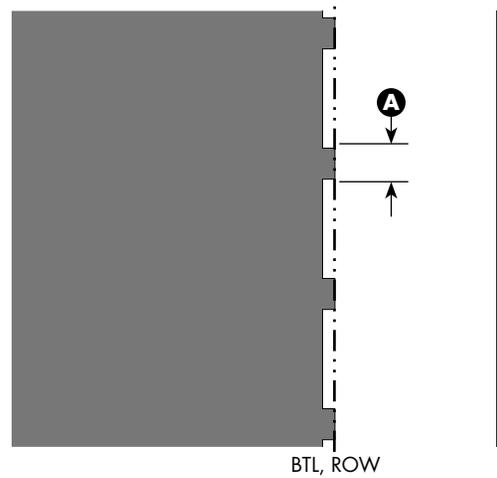
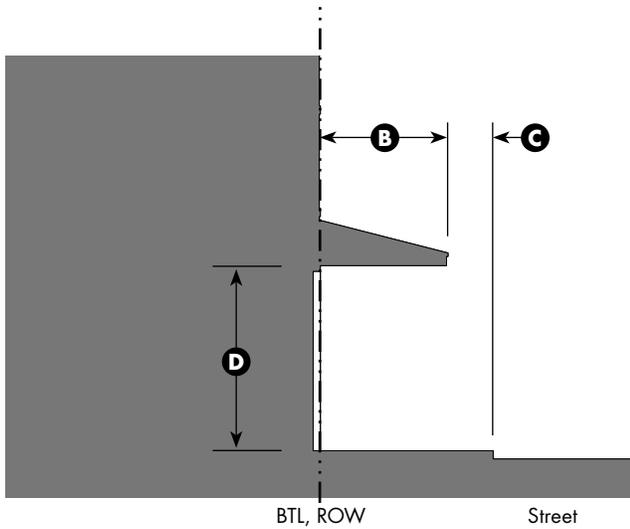
If park-lifts or mechanically-ventilated garages are used next to residential uses, the noise and vibration of the mechanical systems must be mitigated.

All surface parking areas along a street or civic space that are not behind buildings must be screened by a 3'-6" tall min. hedge, fence, or wall in character with the building at the ROW.

No less than 10% of off-street parking lots shall be reserved for landscaping.

Temporary Parking Lots that will be replaced by a permanent building or structure are not subject to the parking location regulations and liner requirements in the Building Form Standards, but must comply with all landscaping requirements.

# Frontage Standards: Shopfront



**Key**

- - - ROW / Property Line
- Building Area
- - - Build-to Line (BTL)

**Description**

The main facade of the building is at or near the frontage line and a canopy or awning element overlaps the sidewalk along the majority of the frontage. The canopy is a structural, cantilevered, shed roof and the awning is canvas or similar material and is often retractable. The shopfront frontage may be used in combination with the gallery, commercial terrace, forecourt, or dooryard frontage types based on the allowable frontage types within the building form zone.

**Size**

Distance between openings	2' min.	<b>A</b>
Transparency (area of openings/ area of ground floor facade)	75% min.	
Depth of recessed entry	5' max.	

**Awning**

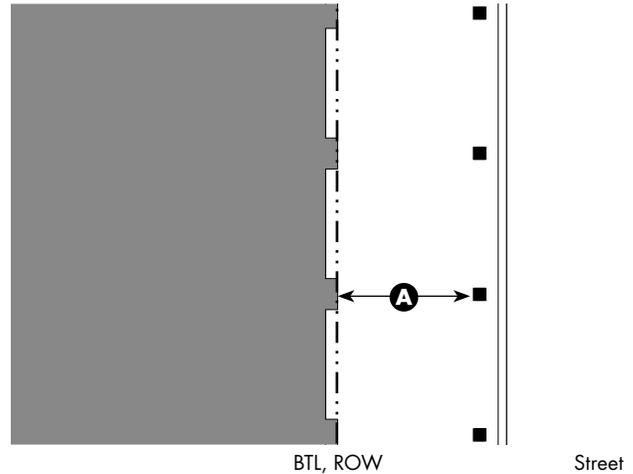
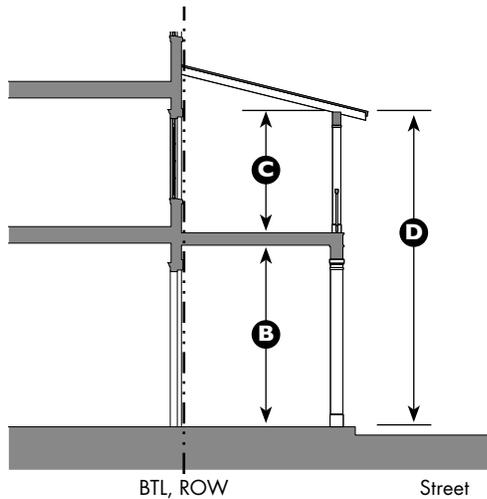
Awning Depth	4' min.	<b>B</b>
Setback from curb	2' min.	<b>C</b>
Height clear	8' min.	<b>D</b>

**Miscellaneous**

- Residential windows shall not be used
- Doors allowed to recess as long as main facade is at BTL
- Operable awnings are encouraged
- Metal, rounded, and hooped awnings are discouraged
- Encourage shopfronts with accordion style doors/windows or other operable windows that allow the space to open to the street



# Frontage Standards: Gallery



**Key**

- ROW / Property Line
- Build-to Line (BTL)
- Building Area

**Description**

The main facade of the building is at the frontage line and the gallery element overlaps the sidewalk. This frontage type is intended for buildings with ground floor commercial or retail uses and may be one or two stories. The gallery must extend close enough to the curb so that a pedestrian cannot bypass it. Due to the overlap of the right-of-way, an easement is usually required. Galleries must have a consistent depth along a frontage. The standards found on here are to be used in addition to those set forth in the Shopfront Frontage; however, an awning element is not required.

**Size**

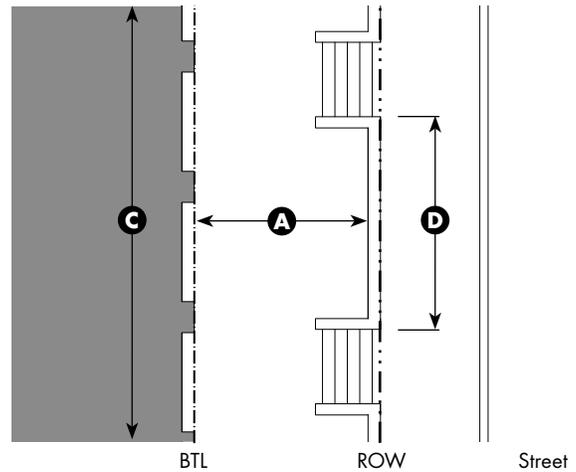
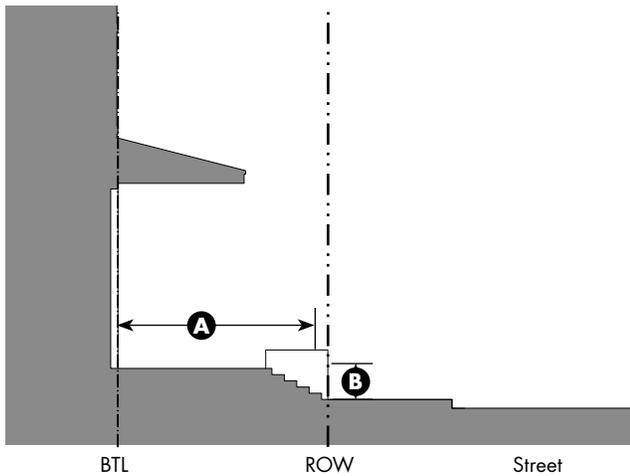
Depth, clear	8' min.	<b>A</b>
Ground floor height, clear	15' min.	<b>B</b>
Upper floor height, clear	9' min.	<b>C</b>
Height	2 stories max.	<b>D</b>

**Miscellaneous**

- Galleries shall be set as close to the curb as possible in compliance with the California Building Code.
- Upper story galleries facing the street must not be used to meet primary circulation requirements.
- Galleries must have a consistent depth along a frontage.
- Gallery must project over a sidewalk
- See Shopfront frontage for additional standards



# Frontage Standards: Commercial Terrace



**Key**

- ROW / Property Line      ■ Building Area
- - - Build-to Line (BTL)

**Description**

The main facade of the building is at the BTL which is near or at the ROW and an elevated terrace extends along the building's frontage providing public circulation and access to the entries into the commercial spaces. The terrace may encroach across the entire sidewalk. If the terrace does not extend to the curb, an adequate sidewalk must be maintained below the terrace. Stairs may protrude or be inset along the front or ends of the terrace. A commercial terrace is often used when a shopfront frontage is required or desired and a cross slope exists on the site and makes access into the shop difficult across the front of the commercial use. The terrace allows at-grade access to all shopfronts. Frequent steps from the sidewalk to the terrace are necessary to avoid a dead wall along the sidewalk and to maximize access to the spaces. The standards found here are to be used in addition to those set forth in the Shopfront Frontage.

**Size**

Depth, clear	8' min.	<b>A</b>
Finish level above sidewalk	3'6" max.	<b>B</b>
Length of terrace	120' max.	<b>C</b>
Distance between stairs	15' max.	<b>D</b>

**Miscellaneous**

Low walls should be made into, or be able to be used as seating wherever possible.

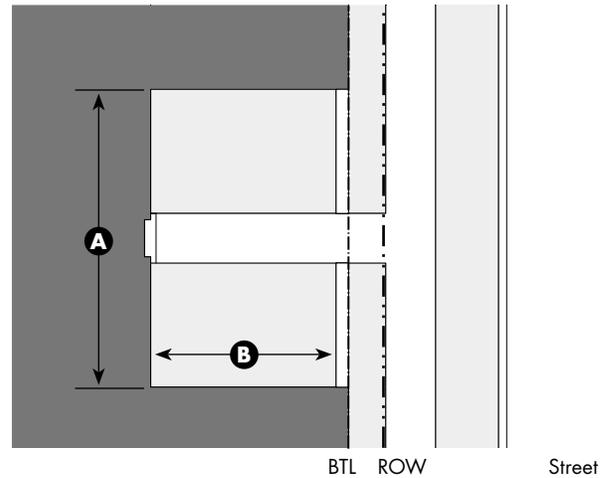
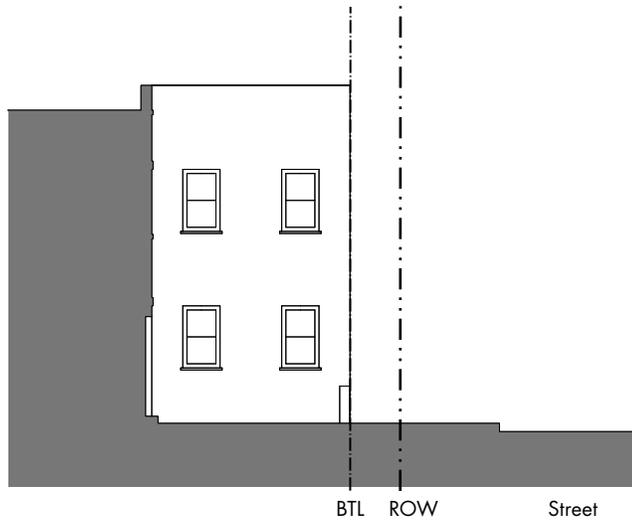


*Frequent stairs open terrace to the sidewalk*



*The terrace allows at-grade access to shopfronts along a cross slope.*

# Frontage Standards: Forecourt



**Key**

- ROW / Property Line
- Build-to Line (BTL)
- Building Area

**Description**

A portion of the main facade of the building is at or near the frontage line and a small percentage is set back, creating a small court space. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within commercial areas. The proportions and orientation of these spaces should be carefully considered for solar orientation and user comfort. For commercial applications, the standards found here are to be used in addition to those set forth in the Shopfront Frontage.

**Size**

Width, clear	12' min.	<b>A</b>
Depth, clear	12' min.	<b>B</b>

**Miscellaneous**

This frontage type should be used sparingly and should not be repeated on adjacent lots.  
 A short wall, hedge, or fence shall be placed along BTL where it is not defined by a building.

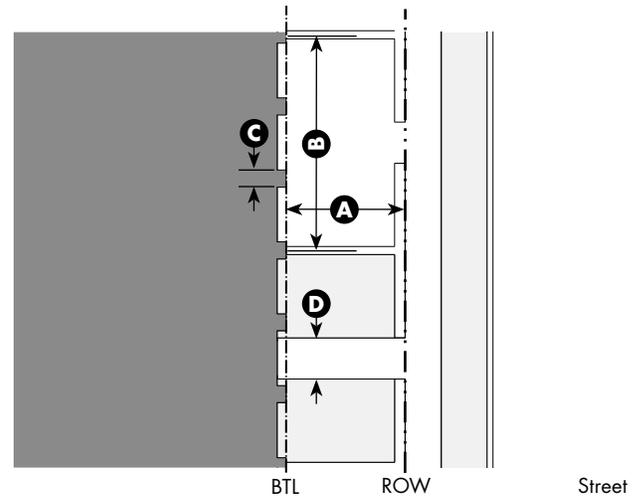
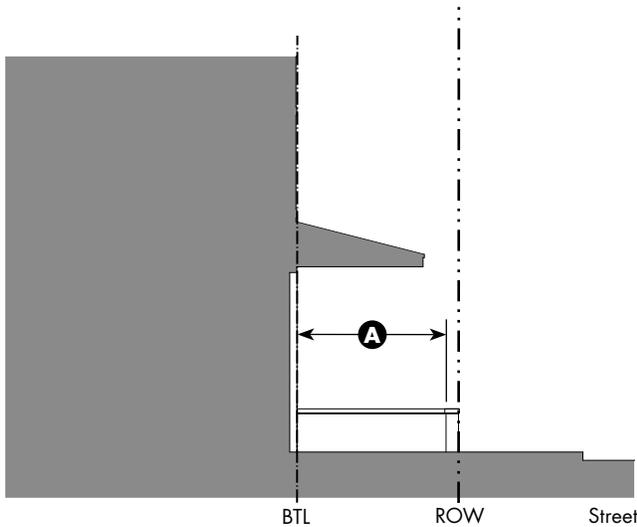


*Residential forecourt provide prominent entry yard and breaks down mass along street*



*Commercial forecourt provide outdoor dining area along a vibrant commercial street. The ROW is defined by a low wall as required by the code.*

# Frontage Standards: Dooryard



**Key**

- - - - ROW / Property Line
- Build-to Line (BTL)
- Building Area

**Description**

The ROW is defined by a low wall or hedge, and the main facade of the building is at the BTL which is setback a small distance from the ROW creating a small dooryard onto which the ground floor units or commercial space front. The dooryard does not provide public circulation along a ROW; a sidewalk must be provided adjacent to the dooryard for public circulation. This type is intended for ground floor residential or flex uses, live/work, and small commercial uses ≤2,500sf only. For commercial applications, the standards found here are to be used in addition to those set forth in the Shopfront Frontage, with the exception of the regulations pertaining to Size listed below.

**Size**

Depth, clear	8' min.	<b>A</b>
Length	50' max.	<b>B</b>
Distance between openings	4' max.	<b>C</b>
Transparency (area of openings/ area of ground floor facade)	50% min.	
Depth of recessed entry	5' max.	
Path of Travel Width	3' min.	<b>D</b>

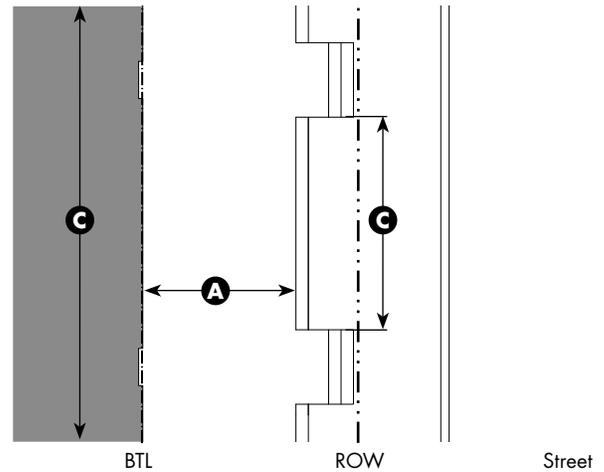
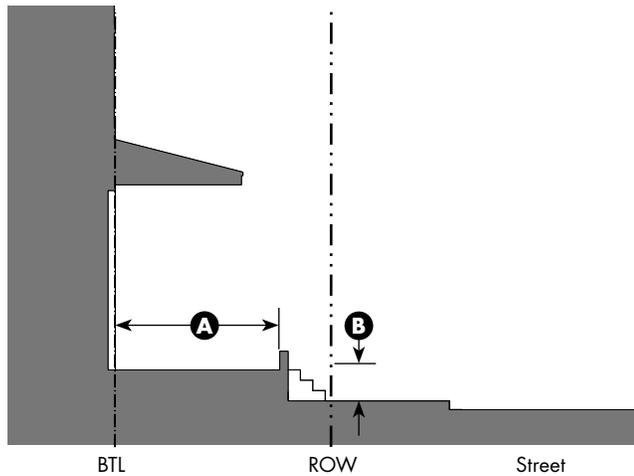
**Miscellaneous**

Low walls should be made into, or be able to be used as seating wherever possible.

The entire ROW must be defined by a low wall, fence, or shrub 18" to 36" high.



# Frontage Standards: Residential Terrace



**Key**

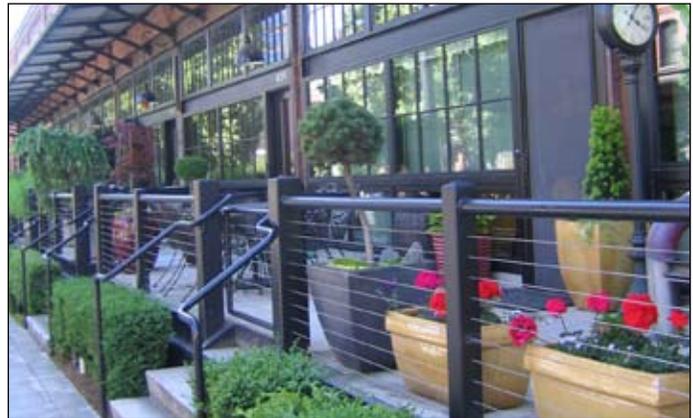
- ROW / Property Line
- Build-to Line (BTL)
- Building Area

**Description**

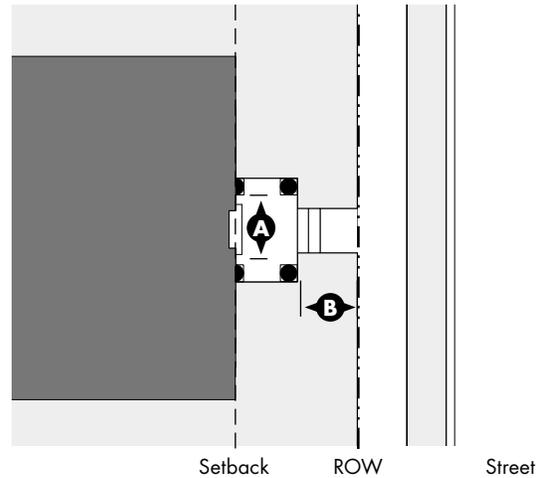
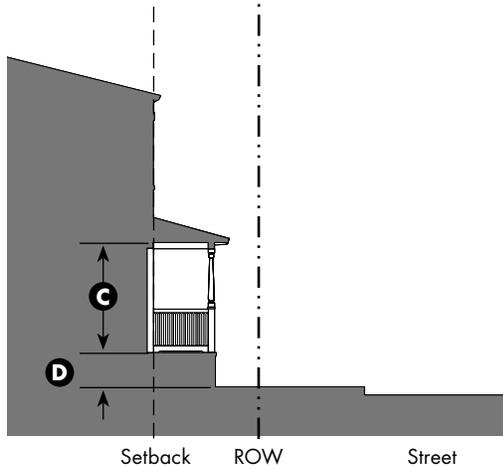
The main facade of the building is at the BTL which is near or at the ROW and an elevated terrace extends along the building's frontage providing access to the entries into the units. The terrace is not intended to provide public circulation along the ROW and a sidewalk must be provided below. The terrace and stairs may not encroach onto a ROW. Stairs may protrude, be inset, or extend down at the end of the residential terrace. This type is intended for residential use only. A canopy or awning may be provided above the terrace but is not required.

**Size**

Depth, clear	8' min.	<b>A</b>
Finish level above sidewalk	3'6" max.	<b>B</b>
Length of terrace	120' max.	<b>C</b>
Distance between stairs	1 per unit ; 25' max.	<b>D</b>



# Frontage Standards: Stoop



**Key**

- - - ROW / Property Line
- Setback Line
- Building Area

**Description**

The main facade of the building is near the frontage line and the elevated stoop engages the sidewalk. The stoop should be elevated above the sidewalk to ensure privacy within the building. Stairs from the stoop may lead directly to the sidewalk or may be side loaded.

**Size**

Width, clear	5' min., 8' max.	<b>A</b>
Depth, clear	5' min., 8' max.	<b>B</b>
Height, clear	8' min.	<b>C</b>
Depth of recessed entry	5' max.	
Finish level above sidewalk	18" min.	<b>D</b>

**Miscellaneous**

- Stairs may be perpendicular or parallel to the building facade.
- Ramps shall be parallel to facade.
- The entry door shall be covered or recessed to provide shelter from the elements.
- Gates are not permitted on stoops
- Stoops that access to two or more unit entries must have at least two doors facing the street.
- Stoops may only be 1 Story in height.

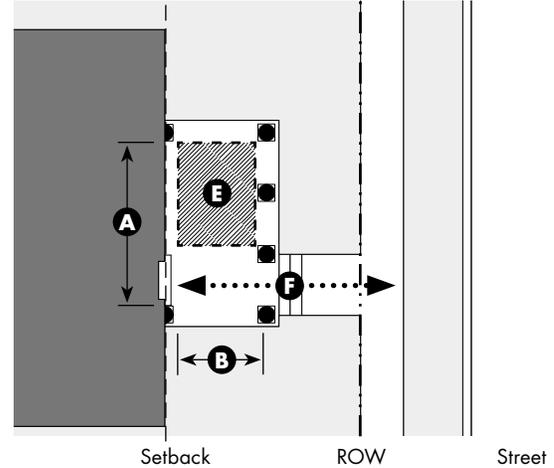
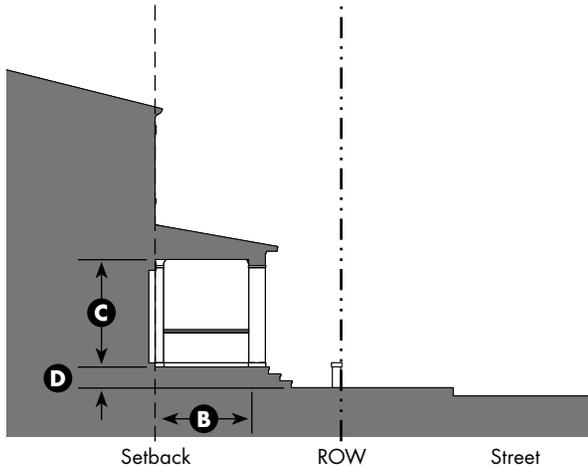


*Stoop on single family home with a medium setback engages the street*



*Stoop on townhouses with slightly recessed entries and a minimum setback allows the steps to engage the street*

# Frontage Standards: Porch



**Key**

- - - - ROW / Property Line
- Building Area
- - - - Setback Line

**Description**

The main facade of the building typically has a small to medium setback from the ROW line. The resulting front yard is typically very small and may or may not be defined by a fence or hedge to spatially maintain the edge of the street. The porch may encroach into the setback to the point that the porch aligns with the property line.

**Size**

Width, clear	10' min.	<b>A</b>
Depth, clear	8' min.	<b>B</b>
Height, clear	9' min.	<b>C</b>
Finish level above sidewalk	18" min.	<b>D</b>
Furniture area, clear	4' x 8' min.	<b>E</b>
Path of travel	3' wide min.	<b>F</b>

**Miscellaneous**

Minimum one 4' x 8' clear area for furniture outside 3' wide path of travel.

Porch may be one or two stories

Projecting porches may only be enclosed on one side and a roof



Series of porches along townhomes.



Full-length porch

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## Introduction

This chapter establishes the Civic Space and Open Space Regulations within Sycamore Crossing. This chapter includes a Regulating Plan that designates Civic Space Types within Sycamore Crossing and detailed Civic Space Standards for each type. These standards include:

- Size & Location
- General Character
- Typical Uses
- Stormwater Management Techniques

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# Civic Space Regulating Plan



## Civic Spaces

The Regulating plan above shows proposed blocks and streets with the four types of Civic Spaces that are listed in the key to the right. The Regulating Plan establishes the approximate locations of these Civic Spaces, and the standards, described in the following pages, establish their dimensional requirements. These spaces are based on the illustrative plan shown below and to the right. A key map below and to the left shows the location of the project within the existing context.

For additional regulations for Stormwater Quality Management within Civic Spaces, see Appendix B: Stormwater Quality Standards (p.6-9).

## Civic Space Types

- Creekside Park
- Linear Green
- Plaza
- Paseo
- Pedestrian Network

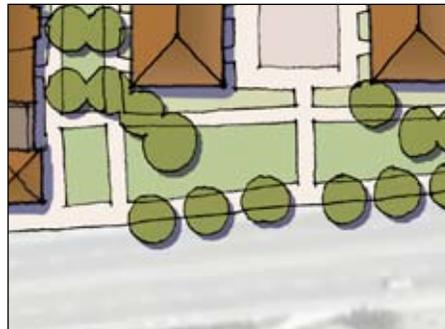
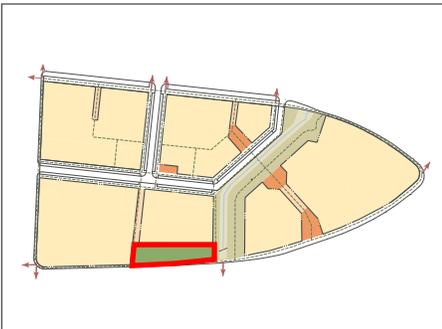


# Linear Green Standards



## Description

The Linear Green provides a public space for passive recreation along San Pablo Avenue, adjacent to the Refugio Creek. This space will have an important role in the creation of an address for the commercial and residential units on Blocks C3 and C4 since a two sided retail street along San Pablo Avenue is not possible in this location. The space shall be primarily landscaped with lawns or naturally disposed trees and shrubs with a hardscaped, formal edge. The Linear Green may incorporate stormwater quality systems. Retail and residential units shall front onto the Linear Green wherever possible to activate the space.





**Size & Location**

Min. Width (perp. to San Pablo Ave.)	20'
Max. Width (perp. to San Pablo Ave.)	100'

**General Character**

Linear open space
Lawns or naturally disposed trees and shrubs
Formal, hardscaped edge
May incorporate stormwater quality systems
Spatially defined by landscaping and building frontages

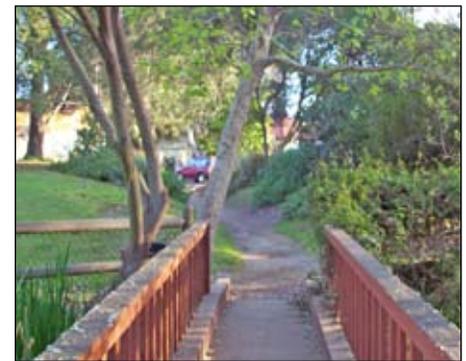
**Typical Uses**

Passive recreation
Residential and commercial addresses
Commercial Uses, including Farmer's Markets, Outdoor Dining
Casual seating

**Stormwater Management Techniques**

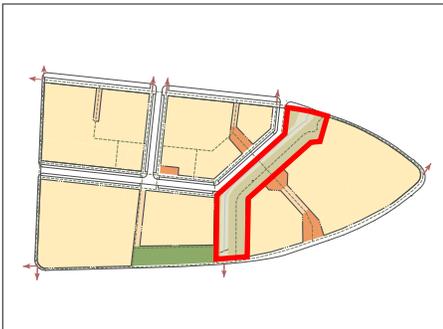
Integrated Runoff
Bioretention BMP
Extended Detention Basins
Porous Pavers and Landscaping
For additional stormwater quality standards, see Appendix B: Stormwater Quality Standards (p.6-9).

# Creekside Park Standards



## Description

The Refugio Creek corridor provides an unique address for residents to the east and provides views from the retail and new street to the west. A trail or boardwalk along the creek shall provide a recreational path for walking and running. Benches and places to sit along the creek shall be provided periodically. The landscape shall be naturally disposed and respectful of the creek and shall consist of paths that follow the creek corridor with new trees and plants that enhance existing vegetation and provide shade. Stormwater quality shall be appropriately integrated along the corridor. Public plazas may be located where the creek meets Sycamore Avenue, where the Paseo between blocks D1 and D2 meets the creek, and adjacent to the future Neighborhood Street and Block C4. These plazas shall have informal landscaping and seating areas that compliment the natural aesthetics of the creek.



# Creekside Park Standards



### Size & Location

Minimum and maximum dimensions and setbacks per regulatory agencies and the Refugio Creek Overlay District (City of Hercules Zoning Ordinance - Chapter 22)

### General Character

- Naturally disposed landscape
- Preserve existing Oak and Willow trees when possible.
- Hardscape path or elevated boardwalk
- Trees along the corridor to provide shade
- Shape follows natural corridors and independent of building frontages.
- Appropriately integrated storm water quality

### Typical Uses

- Limited access to creek
- Casual seating and strolling
- Residential address

### Stormwater Management Techniques

- Integrated Runoff
- Bioretention BMP
- Permeable Walkways and Paths
- Natural/Enhanced Treatment Wetlands & Drainages
- Limited Extended Detention
- For additional stormwater quality standards, see Appendix B: Stormwater Quality Standards (p.6-9).

# Plaza Standards

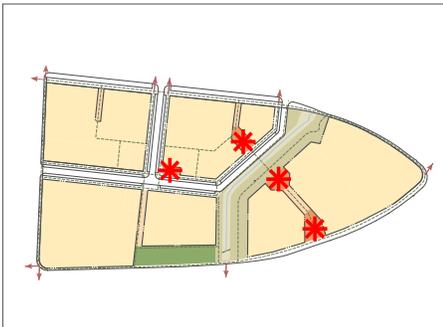


## Description

Plazas add to the vibrancy of streets within more urban areas and create open spaces available for civic purposes and commercial activity. Building frontages and tree-lined street edges shall define these spaces. Plazas shall have a hardscaped edge and have a primarily hardscaped surface. Large hardscaped areas shall include elements such as potted plants, trees, tables and chairs, kiosks, or fountains to provide pedestrian scale. If trees are included, they shall be formally arranged and of appropriate scale. Casual seating shall be provided.

The plaza located within block C2 shall be more intimate in both character and scale. This plaza will help draw activity from Sycamore Avenue and transition between commercial and residential uses. This space shall be more heavily landscaped.

The plaza along San Pablo shall express a more urban character that supports the surrounding retail. This space shall be of a larger scale and primarily hardscaped. A fountain may be included.



# Plaza Standards



## Size & Location

Min. Width 20'

Must Front On At Least 1 street or another civic space.

## General Character

Formal open space

Hardscaped edge

Trees and potted plants

Urban or intimate character

Spatially defined by building frontages or tree-lined streets

Kiosks or fountains

## Typical Uses

Commercial and civic uses

Casual seating

Chairs, tables, and umbrellas for outdoor dining

## Stormwater Management Techniques

Dry Wells & French Drains

Porous Pavers and Landscaping

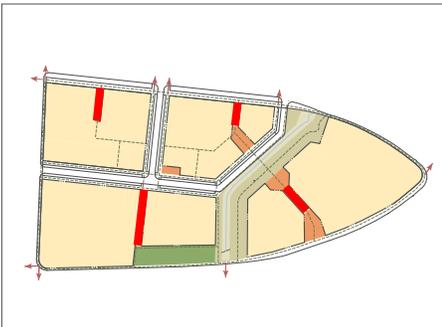
For additional stormwater quality standards, see Appendix B: Stormwater Quality Standards (p.6-9).

# Paseo Standards



## Description

Paseos create intimate passageways through buildings and blocks within designated locations. These paths provide mid-block passages and may be used to provide direct pedestrian access to commercial and residential addresses, creating unique spaces for frontages to engage, similar to many European Hill Towns. Paseos allow for social and commercial activity to spill into the public realm. Paseos shall consist of a hardscape pathway activated by frequent entries. Paseos are primarily open-air passageways that may be intermittently crossed by pedestrian bridges or landscape features (such as trellises or pergolas) at upper levels. The edges may be simply landscaped with minimal planting and potted plants.





**Size & Location**

Min. Width	12'
Min. Width 1/2 Bldg Height (at building face)	
Max. Width	30'
Paseos greater than 150' long must incorporate a min. 15' x 15' court or pocket plaza.	

**General Character**

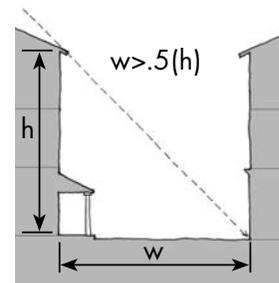
Hardscaped pathway
Defined by building frontages
Activated by frequent entries and exterior stairs.
Potted plants, minimal planting
Maintain the character of surrounding buildings.

**Typical Uses**

Residential and commercial addresses
Mid-block passage
Casual seating

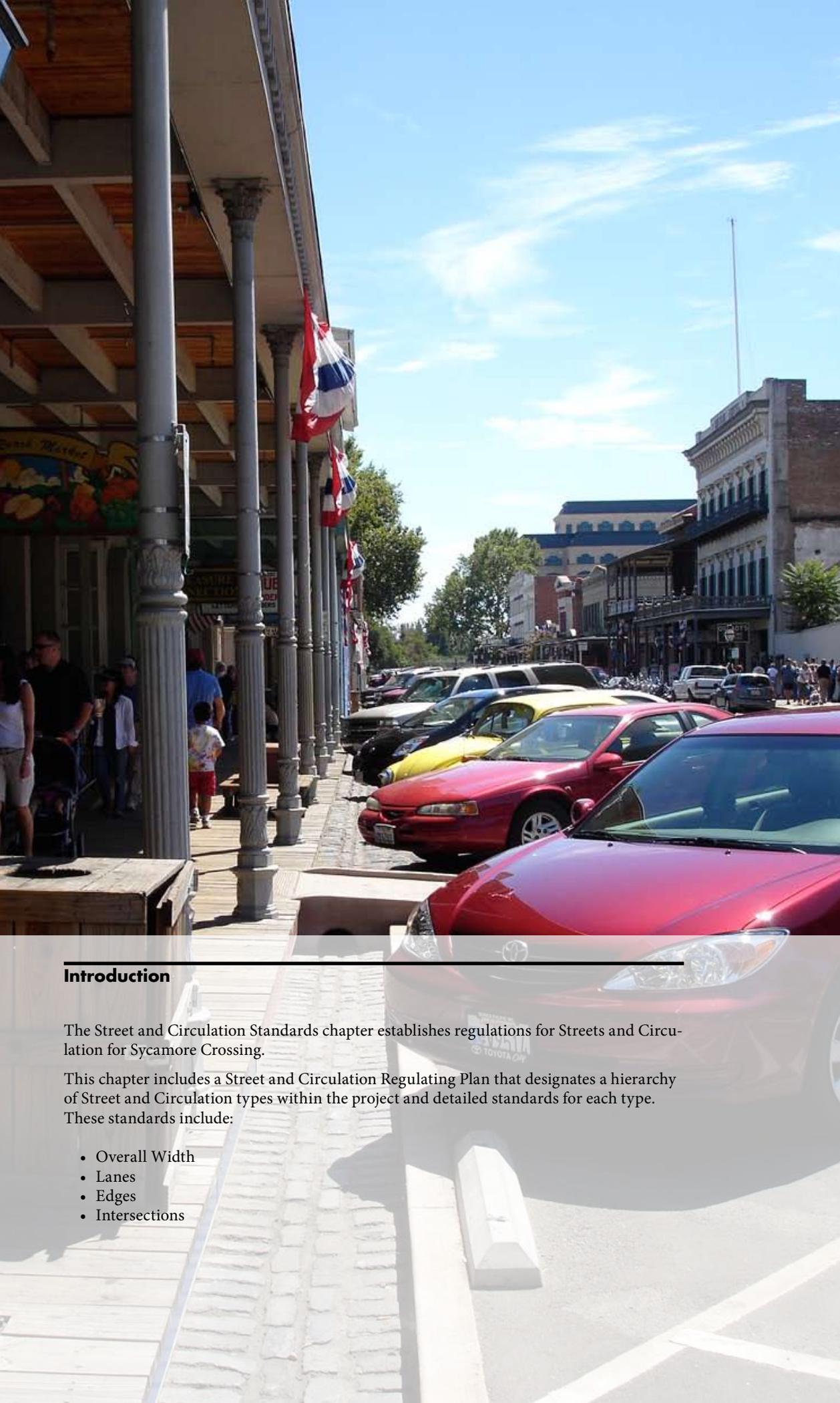
**Stormwater Management Techniques**

Integrated Runoff
Bioretention BMP
Extended Detention Basins
Porous Pavers and Landscaping
For additional stormwater quality standards, see Appendix B: Stormwater Quality Standards (p.6-9).



Min. Paseo Width

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## Introduction

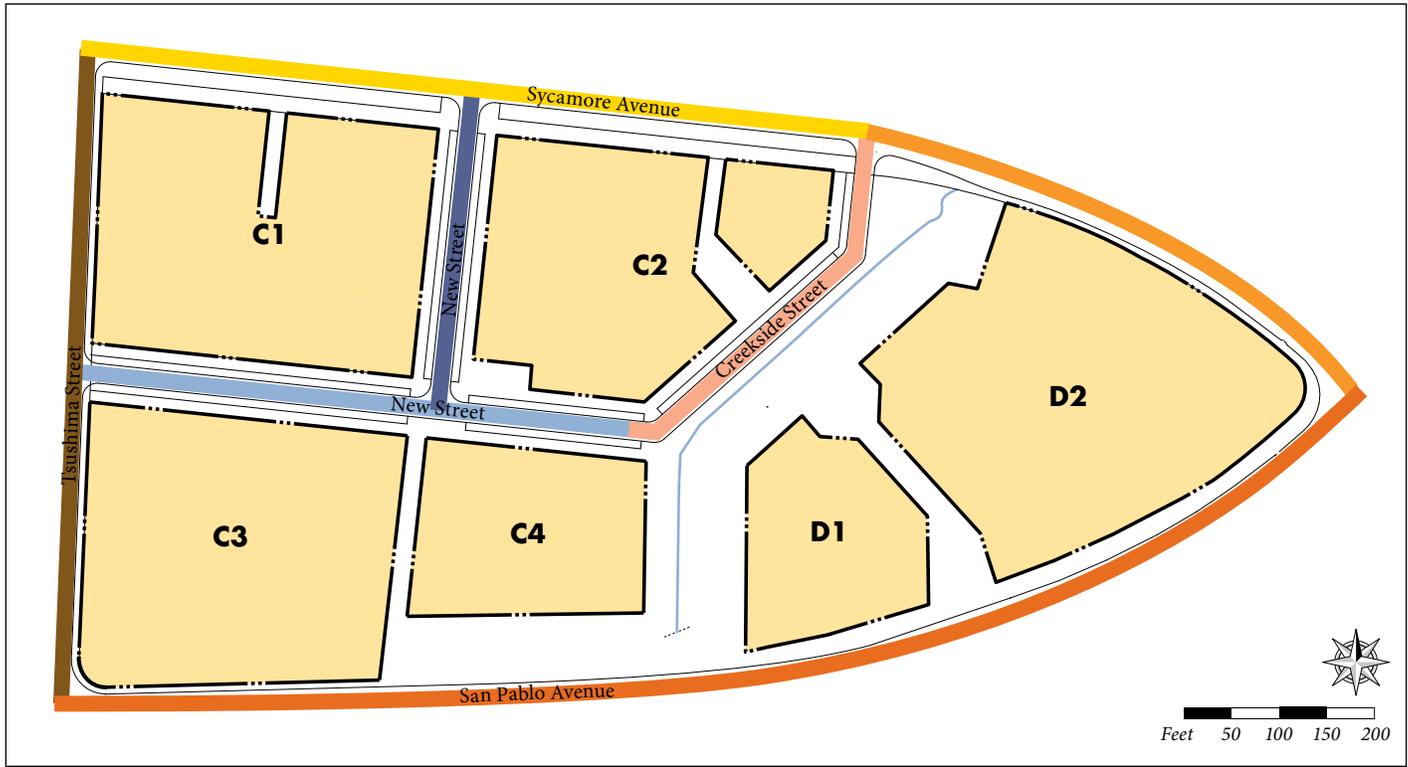
The Street and Circulation Standards chapter establishes regulations for Streets and Circulation for Sycamore Crossing.

This chapter includes a Street and Circulation Regulating Plan that designates a hierarchy of Street and Circulation types within the project and detailed standards for each type. These standards include:

- Overall Width
- Lanes
- Edges
- Intersections

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# Street and Circulation Regulating Plan



## Street Types

The Street and Circulation Regulating Plan above regulates the street types found within Sycamore Crossing. These Street Types are listed in a hierarchical manner with streets at the top of the list being higher in the street type hierarchy and streets at the bottom of the list being lower. If a lot has frontages along multiple streets, the street that is higher on the list will be the Front and all other streets may be Side Streets. If a lot fronts onto a street and a Civic Space, the frontage along the civic space may be the Front. If a lot fronts only onto a street, that street is the Front regardless of its location within the hierarchy. Frontages along Sycamore Avenue and San Pablo Avenue, will always be the Front (i.e., both street frontages at the intersection of Sycamore Avenue and San Pablo Avenue are to be treated as the Front). Main structures shall never front onto Service or Parking Drives, or Alleys.

The location of Drives and Alleys is not regulated in this document as their location is dependent upon the programming and design of future phases. The regulations for a Rear Loaded Alley are provided to accommodate townhomes and live/work units (as permitted in this code) which may include tuck-under parking.

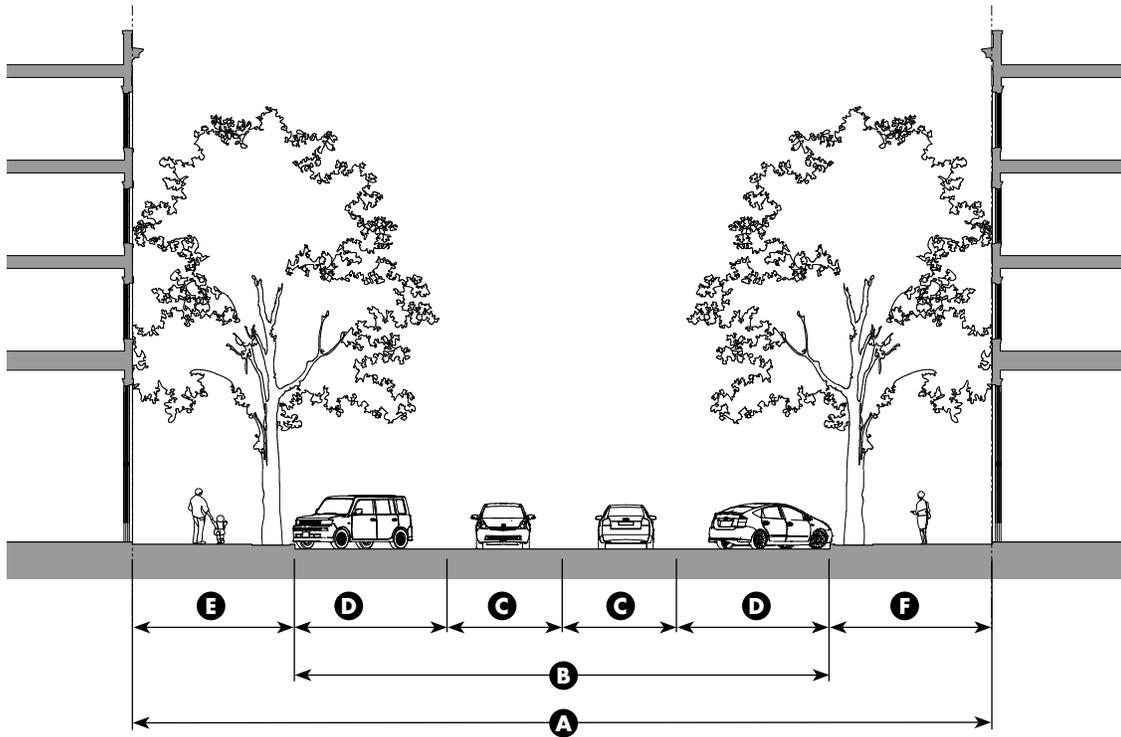
For regulations for Stormwater Quality Management within a Right-of-Way, see Appendix B: Stormwater Quality Standards (p.6-9).

## Street Type Hierarchy

- |   |  |                                      |
|---|--|--------------------------------------|
| highest<br>↑<br>(primary)<br><br>↓<br>(secondary)<br>lowest |  | Sycamore Avenue (Tsushima-Front)     |
|   |  | Sycamore Avenue (Front-San Pablo)    |
|   |  | San Pablo Avenue (Sycamore-Tsushima) |
|   |  | Neighborhood Street I                |
|   |  | Neighborhood Street II               |
|   |  | Creekside Street                     |
|   |  | Tsushima Street (Sycamore-San Pablo) |

# Sycamore Ave. between Tsushima St. and Front St.

(Existing R.O.W.)



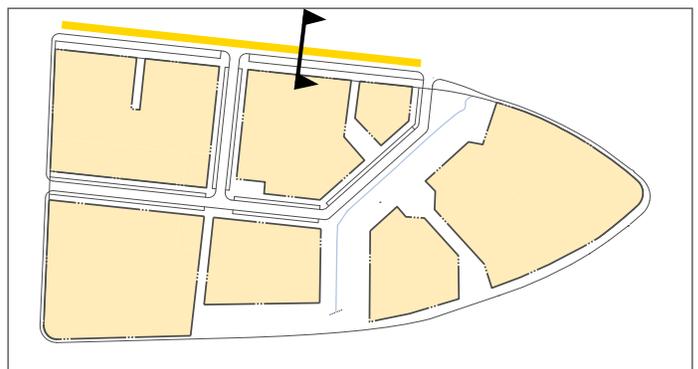
Application	
Movement Type	Slow
Design Speed	20-25 mph
Pedestrian Crossing Time	
With bulb-outs	7 seconds
Without bulb-outs	17 seconds
Zones	T5-MS

Overall Widths	
Right-of-Way (ROW) Width	90' <b>A</b>
Curb Face to Curb Face Width	60' <b>B</b>

Lanes	
Traffic Lanes	2 @ 12' (2-way travel) <b>C</b>
Bicycle Lanes	None
Parking Lanes	2 @ 18' angle <b>D</b>
Medians	None

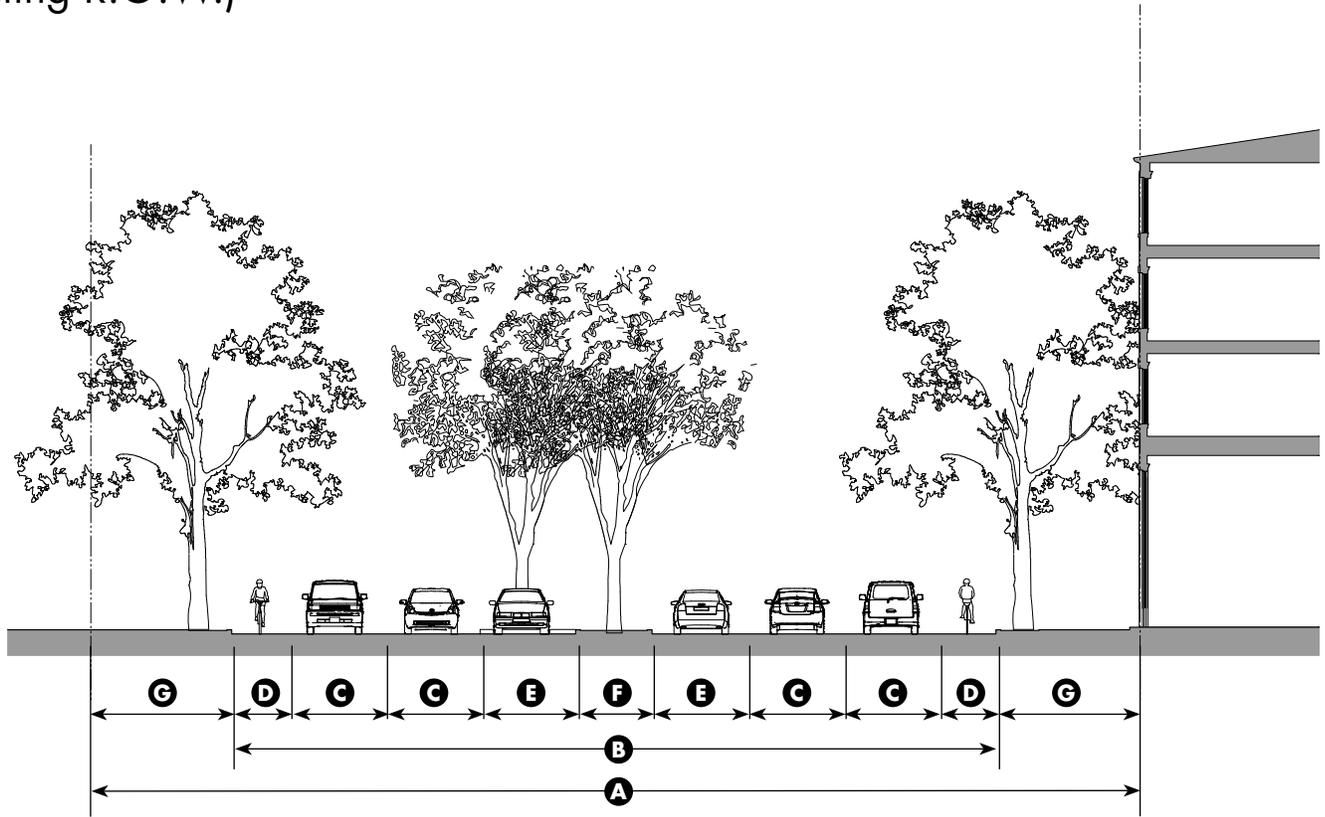
Edges	
Curb Type	Square
Planter Type	5' x 5' tree pits
Landscape Type	Medium trees @ 30' o.c. avg. No trees along galleries/arcades
Walkway Type	14' sidewalk (north side) <b>E</b>
Walkway Type	16' sidewalk (south side) <b>F</b>

Intersection	
Curb Radius	20' max.
Distance Between Intersections	400' max.



# Sycamore Ave. between Front St. and San Pablo Ave.

(Existing R.O.W.)



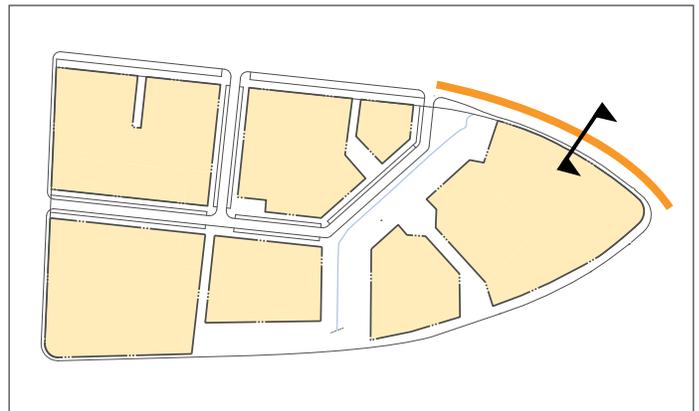
Application	
Movement Type	Slow
Design Speed	25-35 mph
Pedestrian Crossing Time	
Without bulb-outs	23 seconds
Zones	T5-MS

Overall Widths	
Right-of-Way (ROW) Width	108' <b>A</b>
Curb Face to Curb Face Width	80' <b>B</b>

Lanes	
Traffic Lanes	4 @ 12' (2-way travel) <b>C</b>
Bicycle Lanes	2 @ 6' <b>D</b>
Turn Lanes	2 @ 10' <b>E</b>
Medians	Varies <b>F</b>

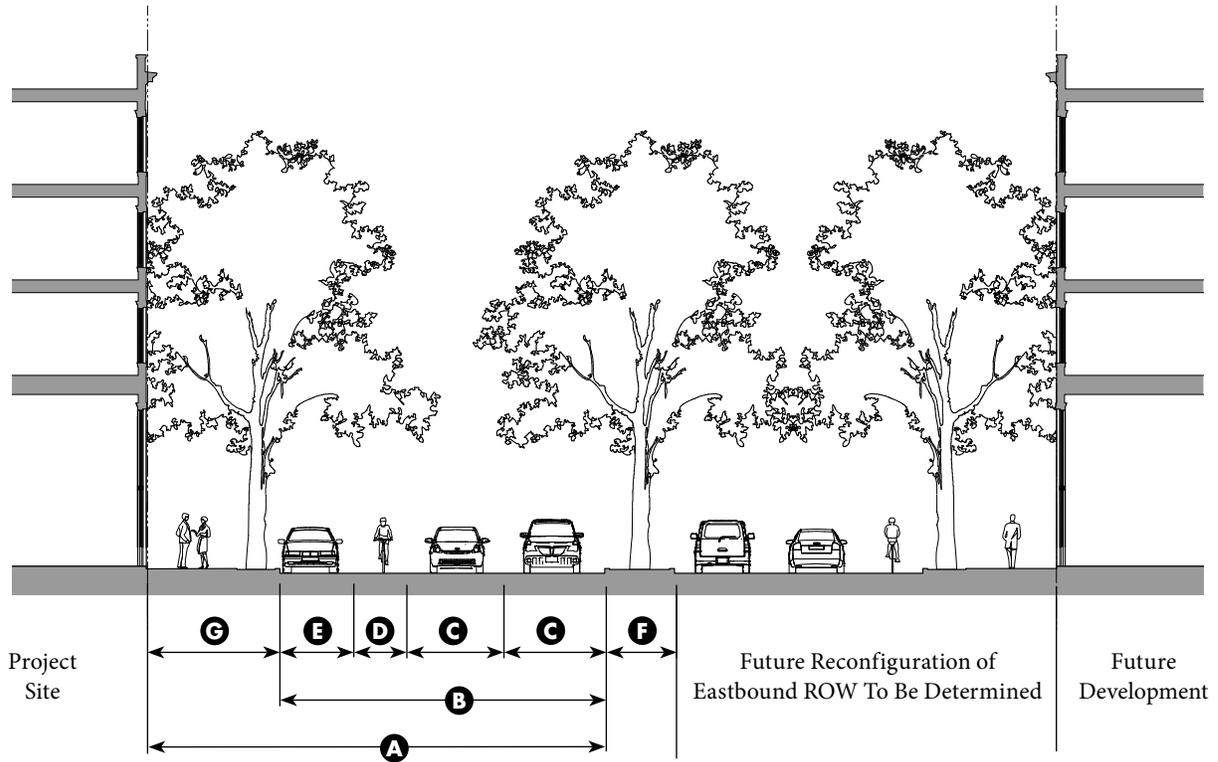
Edges	
Curb Type	Square
Planter Type	5' x 5' tree pits
Landscape Type	Medium trees @ 30' o.c. avg. No trees along galleries/arcades
Walkway Type	14' sidewalk <b>G</b>

Intersection	
Curb Radius	20' max.
Distance Between Intersections	400' max.



# San Pablo Ave. between Sycamore Ave. and Tsushima St.

(Proposed Revisions to Existing R.O.W.)



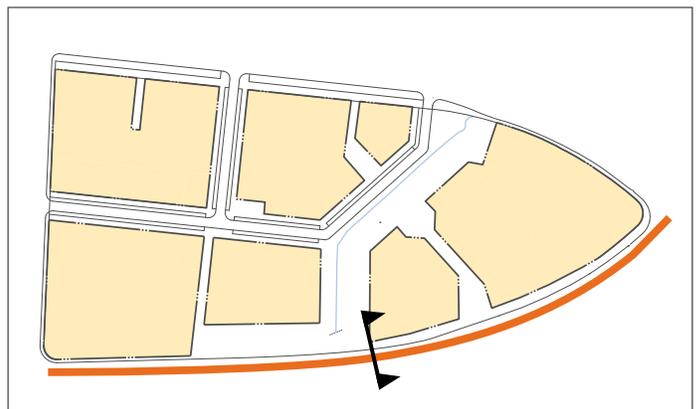
Application	
Movement Type	Slow
Design Speed	25-35 mph
Pedestrian Crossing Time	
At Tsushima St.	17 seconds
At Sycamore Ave.	30 seconds
Zones	T5-MS

Overall Widths	
Right-of-Way (ROW) Width (To Edge of Westbound lanes)	52' <b>A</b>
Curb Face to Edge of Westbound	38' <b>B</b>
Travel Lanes Width	

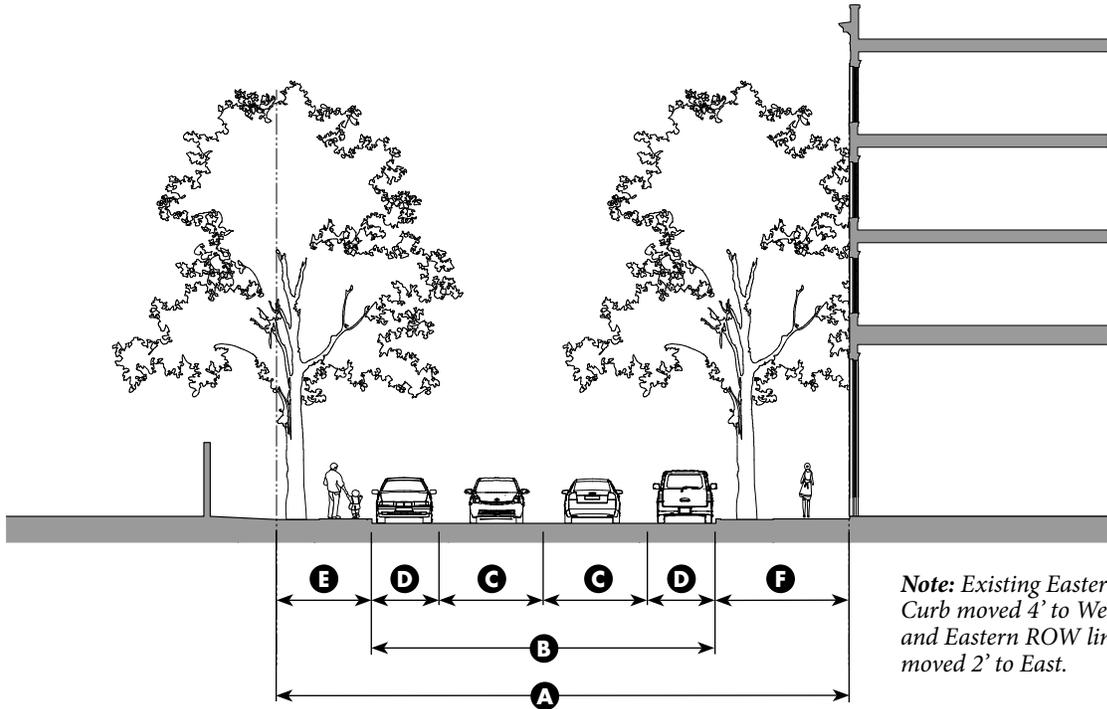
Lanes (Westbound)	
Traffic Lanes	2 @ 12' <b>C</b>
Bicycle Lanes	1 @ 6' <b>D</b>
Parking Lanes (Where ROW allows)	1 @ 8' parallel <b>E</b>
Medians/Turn Lanes	10' min. <b>F</b>

Edges	
Curb Type	Square
Planter Type	5' x 5' tree pits
Landscape Type	Large trees @ 30' o.c. avg. No trees along galleries/arcades
Walkway Type	14' min. sidewalk <b>G</b>

Intersection	
Curb Radius	20' max.
Distance Between Intersections	400' max.



# Tsushima Street



### Application

Movement Type	Slow
Design Speed	25-30 mph
Pedestrian Crossing Time	
With bulb-outs	6 seconds
Zones	T5-MS T4-NG

### Overall Widths

Right-of-Way (ROW) Width	58'	<b>A</b>
Curb Face to Curb Face Width	36'	<b>B</b>

### Lanes

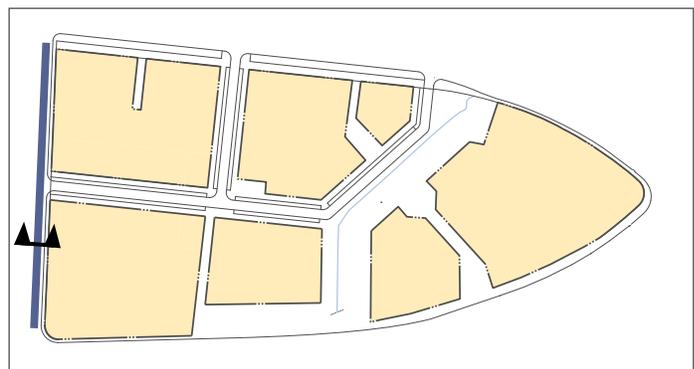
Traffic Lanes	2 @ 10' (2-way travel)	<b>C</b>
Bicycle Lanes	None	
Parking Lanes	2 @ 8' parallel	<b>D</b>
Medians	None	

### Intersection

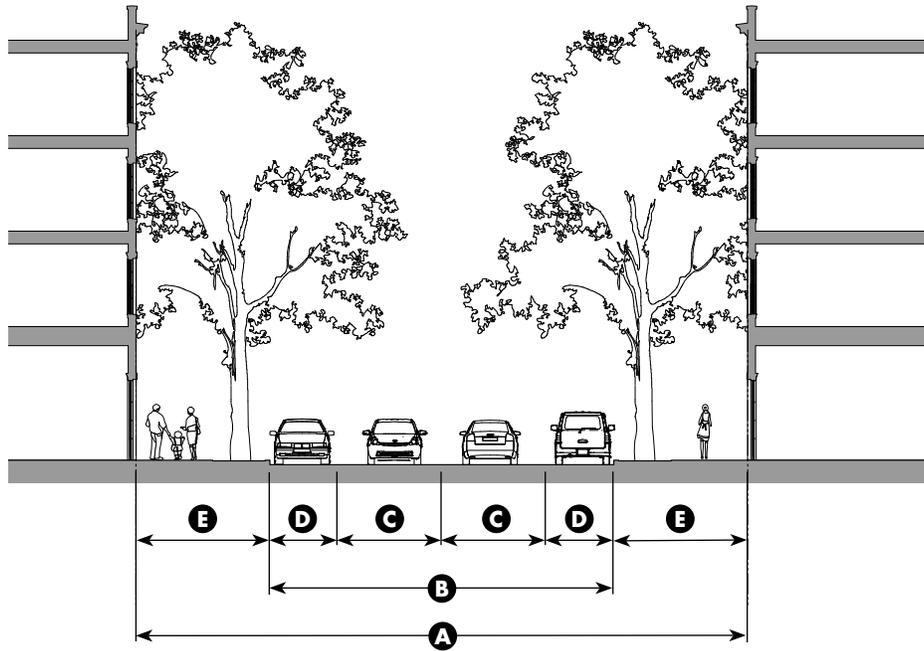
Curb Radius	20' max.
Distance Between Intersections	400' max.

### Edges

Curb Type	Square
Planter Type	
West side of Street	Existing
East side of Street	5' x 5' tree pits
Landscape Type	Medium trees @ 30' o.c. avg. No trees along galleries/arcades
Walkway Type	
West side of Street	Existing <b>E</b>
East side of Street	14' sidewalk <b>F</b>



# Neighborhood Street I



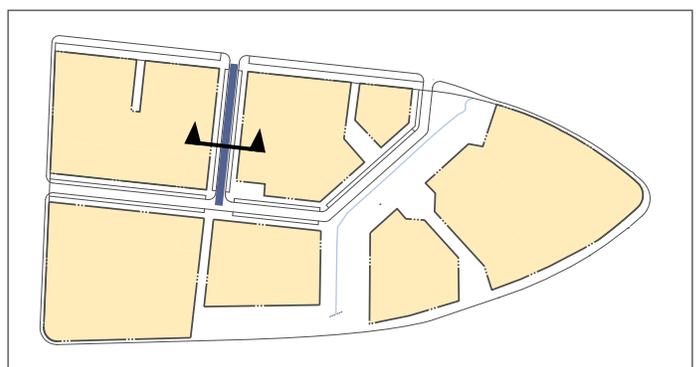
Application	
Movement Type	Slow
Design Speed	15-25 mph
Pedestrian Crossing Time	
With bulb-outs	6 seconds
Zones	T5-MS T4-NG

Edges	
Curb Type	Square
Planter Type	5' x 5' tree pits
Landscape Type	Medium trees @ 30' o.c. avg. No trees along galleries/arcades
Walkway Type	14' sidewalk <b>E</b>

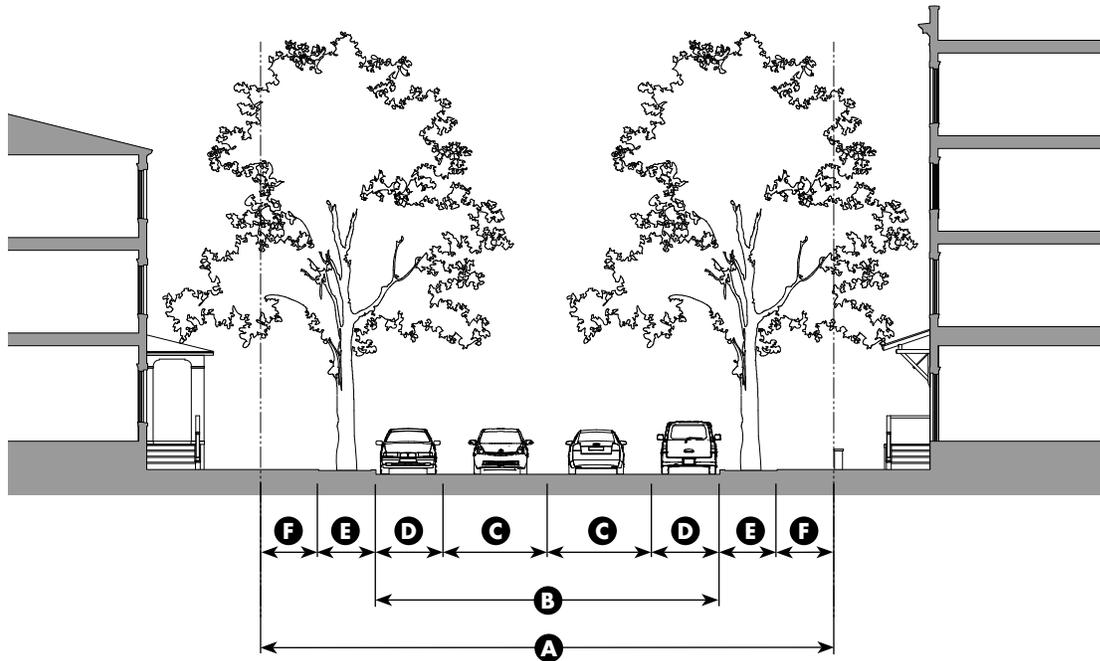
Overall Widths	
Right-of-Way (ROW) Width	62' <b>A</b>
Curb Face to Curb Face Width	36' <b>B</b>

Lanes	
Traffic Lanes	2 @ 10' (2-way travel) <b>C</b>
Bicycle Lanes	None
Parking Lanes	2 @ 8' parallel <b>D</b>
Medians	None

Intersection	
Curb Radius	20' max.
Distance Between Intersections	400' max.



# Neighborhood Street II



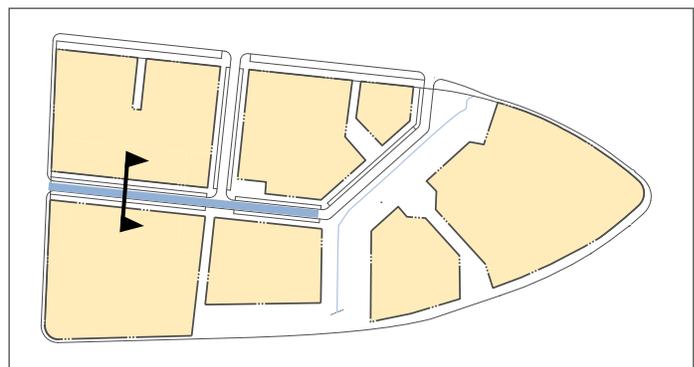
Application	
Movement Type	Slow
Design Speed	15-25 mph
Pedestrian Crossing Time	
With bulb-outs	6 seconds
Zones	T5-MS T4-NG

Overall Widths	
Right-of-Way (ROW) Width	60' <b>A</b>
Curb Face to Curb Face Width	36' <b>B</b>

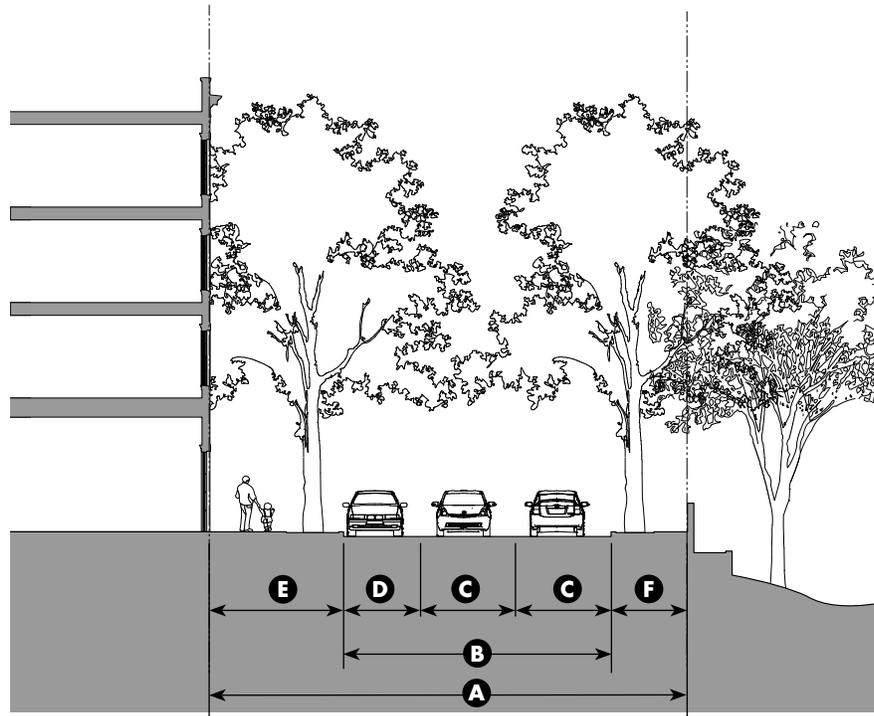
Lanes	
Traffic Lanes	2 @ 10' (2-way travel) <b>C</b>
Bicycle Lanes	None
Parking Lanes	2 @ 8' parallel <b>D</b>
Medians	None

Intersection	
Curb Radius	20' max.
Distance Between Intersections	400' max.

Edges	
Curb Type	Square
Planter Type	6' continuous <b>E</b>
Landscape Type	Medium trees @ 30' o.c. avg. No trees along galleries/arcades
Walkway Type	6' sidewalk <b>F</b>



# Creekside Street



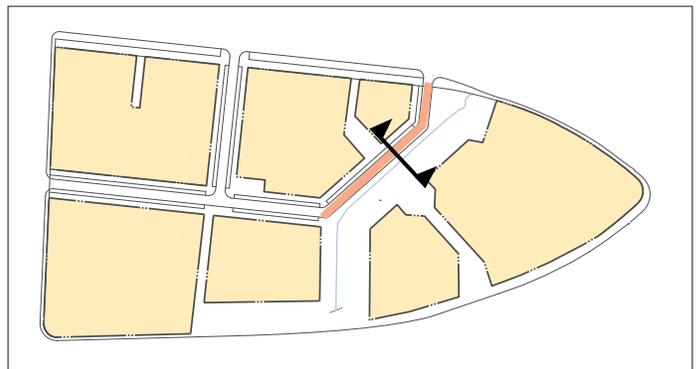
Application	
Movement Type	Slow
Design Speed	15-25 mph
Pedestrian Crossing Time	
With bulb-outs	6 seconds
Zones	T5-MS T4-NG

Overall Widths	
Right-of-Way (ROW) Width	48' <b>A</b>
Curb Face to Curb Face Width	28' <b>B</b>

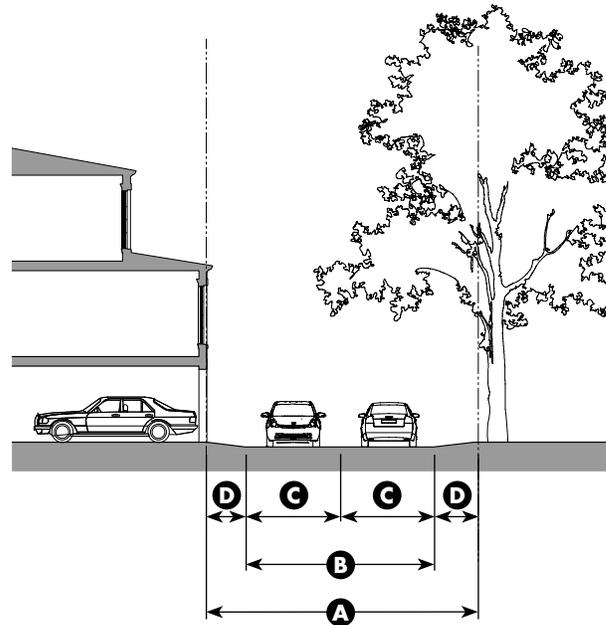
Lanes	
Traffic Lanes	2 @ 10' (2-way travel) <b>C</b>
Bicycle Lanes	None
Parking Lanes	1 @ 8' parallel <b>D</b>
Medians	None

Intersection	
Curb Radius	20' max.
Distance Between Intersections	400' max.

Edges	
Curb Type	Square
Planter Type	
West side of Street	6' continuous / tree pits
East side of Street	Tree pits
Landscape Type	Medium trees @ 30' o.c. avg. No trees along galleries/arcades
Walkway Type	
West side of Street	12' sidewalk (tree pits) or <b>E</b>
East side of Street	6' sidewalk (planter strip) <b>F</b>



# Rear Loaded Alley



Application	
Movement Type	Yield
Design Speed	15 mph
Pedestrian Crossing Time	6 seconds
Zones	T5-MS T4-NG

Overall Widths	
Right-of-Way (ROW) Width	28' min. <b>A</b>
Curb Face to Curb Face Width	20' <b>B</b>
Width of Alley may be increased to accommodate on-street parking.	

Lanes	
Traffic Lanes	2 @ 10' (2-way travel) <b>C</b>
Bicycle Lanes	None
Parking Lanes	None (typical) One row of on-street parking, head-in or parallel, may be accommodated along alley.
Medians	None

Edges	
Curb Type	Rolled
Alley Apron	4' min. <b>D</b>
Apron Type	Pavers or grass <b>D</b>
Walkway Type	None

Intersection	
Curb Radius	5' max.
Distance Between Intersections	N/A

*Note: The location of Drives and Alleys is not regulated in this document as their location is dependent upon the programming and design and of future phases. The regulations for a Rear Loaded Alley are provided to accommodate townhomes and live/work units (as permitted in this code) which may include tuck-under parking.*

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## Introduction

This chapter provides an overview of some of the architectural styles that are endemic to the Bay Area and the Northern California region. Each style is described, listing some of its typical characteristics and providing photographic examples for each. These descriptions represent a broad sampling of each architectural style and are not intended to be inclusive.

These architectural styles serve as appropriate precedents that projects within Sycamore Crossing should seek to emulate, in order to maintain a limited range of architectural expression that is in keeping with the established neighborhoods of the Central Hercules Plan Area. They seek to ensure that public spaces within Sycamore Crossing are well-defined by different buildings that share proportions and relationships between openings, walls, and roofs.

Projects at the FPDP stage shall demonstrate the use of one or more architectural styles as precedents when developing subsequent building elevations in coordination with the Town Architect (TA) and/or Design Review Committee (DRC), as applicable. Additional architectural styles and/or individual building precedents beyond the scope of this chapter may also be acceptable, upon review and approval by the TA and/or the DRC, as applicable.

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# Victorian Style



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## Introduction

The Victorian Style is characterized by “light” wood buildings that are composed of simple rectilinear forms, often articulated with a regular, pattern of bays. The buildings are capped with a continuous, ornamental cornice and parapet, and grounded by a continuous base. Bay windows are primary elements that provide a secondary horizontal rhythm on the facade.

# Victorian Style

## Typical Characteristics

### Massing

Composed of simple rectilinear forms upon which elements such as bay windows, cornices, and ornamental woodwork are added

### Facade Composition

Regular pattern of openings and bays

Bay windows are primary elements that provide a secondary horizontal rhythm on the facade

### Tall ground floor

Buildings are capped with a continuous ornamental cornice and parapet and grounded by a continuous base

Wood siding or cement-fiber equivalent

### Roof Form

Large building massings have a flat or low-pitched roof with a parapet wall

Small building massings may have a flat or low pitched roof with a parapet wall or low pitched roof with hips or front gables

### Windows

Vertically proportioned double hung windows with large panes and surrounds

### Storefronts

Inset with recessed entry, chamfered corner entry

### Elements

Bay window forms are rectilinear, round, or chamfered and are found on the wall plane and at corners

Ornamental cornices

Canvas awnings along storefronts



*Rectilinear building massing, rectilinear bay windows engage a prominent cornice*



*Corner bay window, prominent cornice, painted signage*



*The tall ground floor engages the public realm, horizontal articulation breaks down the height*



*Simple, rectilinear form with tall base, bay window and cornice*



*Facade composition with recessed storefront and vertical proportions*



*Facade composition with chamfered bay windows*

# Victorian Style



Large building massing elevation example



Small building massing elevation example

Small building massing elevation example

# Victorian Style



*Chamfered bay window, bracketed cornice*



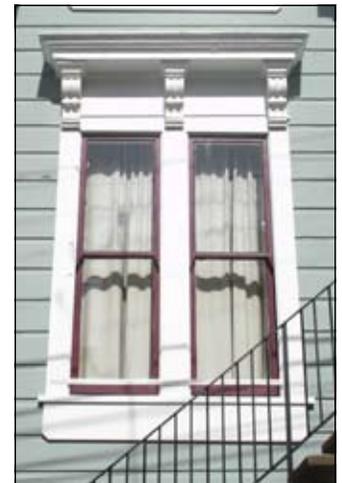
*Round corner bay, deep overhanging cornice*



*Recessed entry storefront with canvas awnings*



*Angled corner entry storefront with awnings*



*Paired double-hung windows with ornamental surround*



*Square corner bay with formal cornice*



*Simple window surround*



*Formal surround with cap*



*Paired doors with transoms*

# Art Deco Style



## Introduction

The Art Deco style is characterized by buildings composed of primarily rectilinear forms with strongly contrasting vertical and horizontal emphases. Windows are recessed in keeping with the appearance of masonry construction. Wall surfaces are typically smooth stucco or occasionally brick. Elements such as zig zags, chevrons, and other stylized and geometric motifs occur as decorative elements on the facade, typically at the parapet and primary entrances. The building is capped with a parapet with a simple coping that may be broken by vertical elements. Towers, tall slender piers with ornate capitals that may project above the parapet line, and other vertical projections above the roofline are used to provide vertical emphasis. Horizontal grooves or lines in the walls, horizontal balustrade elements, concrete window awnings, and ganged windows are used to give a horizontal emphasis to the building.

**Sycamore Crossing IPDP**  
**Opticos Design, Inc.**

# Art Deco Style

## Typical Characteristics

### Massing

Composed primarily of simple rectilinear forms to which ornamentation and accent elements are applied

Building corners may be square or curved

### Facade Composition

Symmetrical or balanced asymmetrical

Strong contrast between horizontal and vertical compositional elements

Typically smooth, hand trowelled stucco walls, occasionally brick

### Roof Form

Flat or low-pitched with a parapet wall

### Windows

Vertically proportioned casement, awning, double-hung, and fixed windows recessed in simple punched openings.

Windows may be ganged to form horizontally proportioned punched openings

Windows may wrap corner of building

Square, vertically proportioned, or round accent windows used as compositional elements

### Storefronts

Inset with recessed entry

Concrete or steel canopies or canvas awnings

### Elements

Chevrons, Zig-zags and other stylized and geometric motifs occur as decorative elements on the facade, typically at the parapet, pilaster capitals, and primary entrances

Piers, bay windows, towers, and other vertical projections above the parapet are used to add vertical emphasis to the facade

Grooves and lines in the walls, balustrades, window awnings, and ganged windows are used to add a horizontal emphasis to the facade



Rectilinear form with parapet and bay window ornamentation



Horizontal emphasis provided by window canopies contrasts vertical emphasis at entries by projections above parapet line.



Vertical accents and ornamentation at primary entrance, windows wrapping corner



Simple rectilinear form with brick exterior and ornamentation at windows and parapet



Mixed-use building in downtown Berkeley, CA. Tower element at corner, round accent windows, rounded corner element.

# Art Deco Style



*Facade composition example*



*Facade composition example*

# Art Deco Style



Ornamental tower element that includes the building signage



Geometric ornamentation at window surrounds and parapet



Parapet detailing, stepped parapet at center above primary entrance



Ornamental detailing at parapet, bay windows, and above top floor windows, vertical elements break line of parapet



Bay window ornamentation and vertical accents



Pilasters with vertical accents and ornamental capitals



Window and pilaster detail



Inlaid ornamental panels on a brick building



Ornamental railing detail

# Spanish Revival Style



## Introduction

The Spanish Revival Style is characterized by asymmetrical buildings that are composed of picturesque combinations of simple rectilinear forms of varying heights. The buildings are capped with gabled or hipped roofs of red clay barrel tiles. Courtyards and well-detailed structural elements, such as pergolas, trellises or loggias and arcades, often provide another layer to the massing. Elements such as wood or metal balconies, towers, chimneys and other tile or wrought iron details add accents.

# Spanish Revival Style

## Typical Characteristics

### Massing

Picturesque compositions of simple rectilinear forms of varying heights, with low-pitched roof forms

Larger buildings often use these forms to form enclosed or semi-enclosed courtyards

### Facade Composition

Balanced, asymmetrical facade composition accented by chimneys, balconies, and towers.

The proportion of openings to wall is small in keeping with the appearance of masonry construction.

Smooth, hand trowelled stucco walls

### Roof Form

Multi-level, low-pitched, gabled or hipped roof forms clad with red clay barrel tiles

Shallow eaves with a stucco profile or open eaves with decorative rafters or brackets

### Windows

Vertically proportioned casements, french casements, or fixed

Punched, recessed openings for doors and windows with stucco or cast stone sill

Elaborated with window grilles, small metal balconies and awnings

### Doors

Arched openings typical for principle doors or beneath porch roofs

Elaborate stucco, cast stone, or stone detailing at primary entrances

### Elements

Chimneys, often with elaborate tops and small, tiled roofs

Upper floor cantilevered balconies

Ground floor loggias and arcades

Well-detailed pergolas and trellises

Tiled fountains in courtyards or paseos



*Simple, rectilinear form with ground floor loggia and shallow, upper floor balconies*



*Arched storefronts with balcony above, accented by small corner tower*



*Large, asymmetrical building surrounding a semi-enclosed courtyard walled along the street edge*



*Storefront accented with awnings and simple chimney*



*Courtyard building with low-pitched gable ends facing the street*

# Spanish Revival Style



*Courtyard massing and elevation example*



*Large building with courtyard example*

# Spanish Revival Style



*Exterior stair leading to entry door*



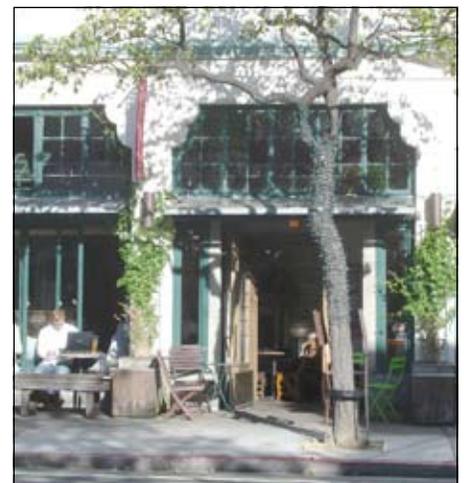
*Ganged windows recessed with decorative columns between*



*Arched windows with decorative tile*



*Wood balcony with brackets for support*



*Storefront with punched openings and transoms*



*Loggia with arcade along street*



*Metal balcony with awning*



*Metal grille*



*Recessed door with impostes*

## Bay Area Eclectic Style



### Introduction

The Bay Area Eclectic Style is a local, eclectic adaptation of the Victorian and Arts and Crafts Styles. It is characterized by walls clad in wood shingles with expressive wood detailing on the eaves, windows, doors and bay windows. A stone or brick base is typically found at the base of the building. Parapet walls or steeply pitched cross gables define the roof forms. Bay windows are vertically proportioned with wood shingles and horizontal trim that wraps around the bay to define the floor levels. Large single or paired brackets support overhangs and eaves.

# Bay Area Eclectic Style

## Typical Characteristics

### Massing

Wood buildings with massings that are similar to Victorian and Arts and Crafts style buildings but have been adapted to a local eclectic style

Massings can be rectilinear forms with steeply pitched roofs arranged symmetrically or asymmetrically, often with a prominent gable end; or simple rectilinear forms to which bays and ornamental woodwork are applied

### Facade Composition

Regular pattern of openings and bays, an overall symmetrical facade with local asymmetry, or balanced asymmetrical facades

Wood or fiber cement shingle walls with a brick, brick veneer, or stone base

Bay windows and front gables are often used as primary elements that provide a secondary horizontal rhythm on the facade

Detailed wood cornices or brackets are typical at the eaves or parapets

### Roof Form

Parapeted roof forms, steeply pitched gables, cross gables, and hipped roofs

Shed, gable, or knee wall dormers are typical

### Windows

Vertically proportioned

Casements, french casements, or double hung

### Doors

Heavy, panelized, set deep from exterior wall

### Elements

Vertically proportioned bay windows

Large brackets, single or paired, supporting overhangs or eaves



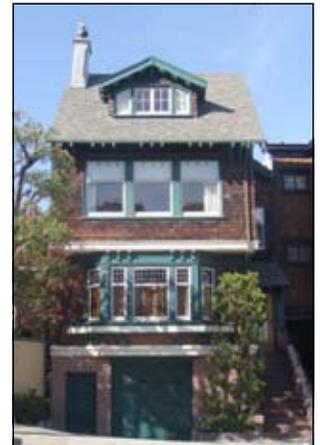
*Elevation with parapeted roof form and corner bay*



*Parapeted gable end elevation*



*Multi-dwelling elevation*



*Narrow elevation*



*Gable end elevation*



*Large building, multi-family elevation*

# Bay Area Eclectic Style



*Large building elevation example*



*Small building massing elevation example*



*Small building massing elevation example*

# Bay Area Eclectic Style



*Multi-story bay*



*Square bay window*



*Ganged french casement windows*



*Double-hung window*



*Square bay transitions to chamfered bay*



*Round dormer*



*Open eave detail with brackets*

chapter

# 6

Sycamore Crossing Initial Planned Development Plan

## Appendix

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# Glossary

**Active Recreation.** Activity engaged in for the purpose of enjoyment with the primary activity requiring physical exertion.

**Administrative Use Permit.** These permits are issued by the Community Development Director for uses that are generally permitted within a district and usually are of low impact to the community and environment. Conditions of approval, mandatory review periods, and expiration periods may be required at the discretion of the Community Development Director. In granting conditional approval, the Director may impose requirements and conditions with respect to location, siting, construction, maintenance, operation, duration, and overall development as deemed reasonable and necessary for the protection of adjacent properties and the public interest. If an Administrative Use Permit denied by the Director is appealed to the Planning Commission, it shall become a Conditional Use Permit if approved.

**Adult Day Care.** See “Day Care, Child or Adult.”

**Alcoholic Beverage Sales.** The sale of beer, wine, and/or spirits for on-site or off-site consumption, either as part of another retail use, or as a primary business activity. Temporary Alcoholic Beverage Sales lasting no longer than three consecutive calendar days may be approved through an Administrative Use Permit.

**ATM.** An automated teller machine (computerized, self-service machine used by banking customers for financial transactions, including deposits, withdrawals and fund transfers, without face-to-face contact with financial institution personnel), located outdoors at a bank, or in another location. Does not include drive-up ATM’s.

**Bank, Financial Services.** Financial institutions including: banks and trust companies, credit agencies, holding (but not primarily operating) companies, lending and thrift institutions, other investment companies, securities/commodity contract brokers and dealers, security and commodity exchanges, vehicle finance (equity) leasing agencies. Does not include check-cashing stores. (See also, “ATM”)

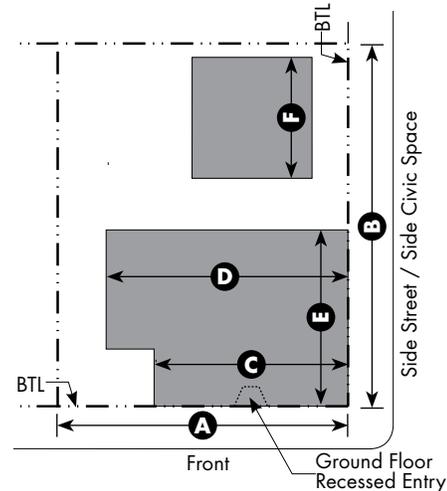
**Bar, Tavern, Night Club.** See “Eating or Drinking Establishment.”

**Building Type.** The structure defined by the combination of configuration, disposition and function.

**Build-to Line (BTL).** A line appearing graphically on the regulating plan or stated as a setback dimension, along which a building facade must be placed. The two examples to the right depict how to calculate the % of BTL Defined by a Building and % of Building at the BTL as may be required in the Building Form Standards. Minor deviations from the BTL are allowed for architectural features such as recessed entries and the architectural articulation of the facade. These minor deviations do not count against the calculations of % of BTL Defined by a building or % of Building at the BTL.

**Build-to-Line (BTL) Calculations:**

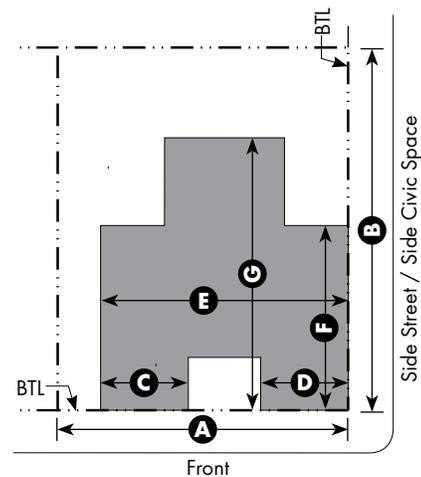
**Example 1:**



% of BTL Defined by a Building:  
 Front =  $C / A$       Side Street =  $E / B$

% of Building at the BTL:  
 Front =  $C / D$       Side Street =  $E / (E + F)$

**Example 2:**



% of BTL Defined by a Building:  
 Front =  $(C + D) / A$       Side Street =  $F / B$

% of Building at the BTL:  
 Front =  $(C + D) / E$       Side Street =  $F / G$

**Business Support Service.** An establishment within a building that provides services to other businesses. Examples of these services include:

Computer-related services (rental, repair), copying, quick printing, and blueprinting services, film processing and photofinishing (retail), mailing and mailbox services.

**Child Day Care.** See “Day Care, Child or Adult.”

**Civic.** A term defining not-for-profit organizations, dedicated to arts, culture, education, religious activities, recreation, government, transit, and public parking facilities.

**Commercial.** A term defining workplace, office and retail use collectively.

**Commercial Recreation Facility - Indoor.** An establishment providing indoor amusement and entertainment services for a fee or admission charge, including:

Bowling alleys, coin-operated amusement arcades, electronic game arcades (video games, pinball, etc.), ice skating and roller skating, pool and billiard rooms as primary uses.

Four or more electronic games or amusement devices (e.g., pool or billiard tables, pinball machines, etc.) in any establishment, or a premises where 50 percent or more of the floor area is occupied by electronic games or amusement devices, are considered a commercial recreation facility; three or fewer machines or devices are not considered a land use separate from the primary use of the site. This use does not include sex-oriented businesses.

**Common Courtyard.** An entry court, forecourt or courtyard shared by multiple residential units or commercial spaces.

**Conditional Use Permit.** These permits are issued by the Planning Commission for conditional uses allowed within a district. The Use Permits will usually include conditions of approval, mandatory review periods, and expiration periods as required at the discretion of the Planning Commission. In granting conditional approval, the Planning Commission may impose requirements and conditions with respect to location, siting, construction, maintenance, operation, duration, and overall development as deemed reasonable and necessary for the protection of adjacent properties and the public interest

**Day Care, Child or Adult:** A state-licensed facility that provides non-medical care and supervision for adult clients or minor children for periods of less than 24 hours per day for any client. These facilities include the following, all of which are required to be licensed by the California State Department of Social Services.

**Day Care Center:** Any day care facility other than a Family Day Care Home in which less than 24-hour per day nonmedical care and supervision are provided in a group setting, and includes, infant centers, preschools, extended day care facilities,

and school age child care centers.

**Family Day Care Home, Large.** A day care facility in a single dwelling where an occupant of the residence provides family day care for seven to 14 clients, inclusive, including adult clients and children under the age of 10 years who reside in the home.

**Family Day Care Home, Small.** A day care facility in a single residence where an occupant of the residence provides family day care for eight or fewer clients, including adult clients and children under the age of 10 years who reside in the home.

**Depth, Ground-floor Commercial Space.** The depth of the ground floor space available to a commercial tenant. Service cores (stairs and elevators), double height lobbies, trash rooms, and other building elements may encroach upon the required depth up to 50% of the required depth for a maximum of 25% of the width of the commercial storefront.

**Director.** The Community Development Director of the City of Hercules, or his or her duly appointed representative.

**Eating or Drinking Establishment.** A business selling ready-to-eat food and/or beverages for on- or off-premise consumption that can be classified as one of the following three sub-categories of the use:

**Bar, Tavern.** A business where alcoholic beverages are sold for on-site consumption, which are not part of a larger restaurant. Includes bars, taverns, pubs, and similar establishments. May also include beer brewing as part of a microbrewery (“brewpub”) and other beverage tasting facilities.

**Night Club.** A facility serving alcoholic beverages for on-site consumption, and providing entertainment, examples of which include live music and/or dancing, comedy, etc. Does not include adult-oriented businesses.

**Restaurant, Cafe, Coffee Shop.** A retail business selling ready-to-eat food and/or beverages for on- or off-premise consumption. These include eating establishments where customers are served from a walk-up ordering counter for either on- or off-premise consumption (“counter service”), and establishments where customers are served food at their tables for on-premise consumption (“table service”), that may also provide food for take-out, but does not include drive-through services.

**Facade.** The vertical surface of a building, generally set facing a street (“front facade”).

**Farmers Market.** The temporary use of a site for the outdoor sales of food and farm produce items, in compliance with the California Food and Agriculture Code Sections 1392 et seq.

**Focal Point.** A prominent architectural element, such as a tower, corner bay window (chamfered or round) or significant facade articulation, designed to accent the corner of a building and typically used to terminate a view or mark an important entrance. **Floor Finish Level.** (See *Ground Floor Finish Level*)

**Front.** The primary frontage(s) of a lot, determined as follows:

- 1) For lots with frontages along multiple streets, the frontage along the street that is higher on the Street Type Hierarchy on page 4-2 will always be the Front. All other streets may be considered to be Side Streets.
- 2) Frontages along Sycamore Avenue and San Pablo Avenue, will always be the Front. (i.e., both street frontages at the intersection of Sycamore Avenue and San Pablo Avenue are Fronts)
- 3) For lots with frontages along a street and a Civic Space, the Front may be the frontage along either the street or the civic space, or both frontages may be treated as Fronts. The frontage along certain Civic Spaces may be required to be a Front, consult the Civic Space Standards.
- 4) For lots with a single frontage along a street or a Civic Space, that frontage is the Front.
- 5) Alleys, Service Drives, and Parking Drives may never be a Front.

**Frontage.** A strip or extent of land abutting on a street or other public right-of-way..

**Gallery.** A roofed promenade extending along the facade of a building and supported by columns on the outer side.

**General Retail.** Stores and shops intended to serve the City as destination retail, rather than convenience shopping. Examples of these stores include:

Art galleries; retail; art supplies, including framing services; books, magazines, and newspapers; cameras and photographic supplies; clothing, shoes, and accessories; antique stores; collectibles (cards, coins, comics, stamps, etc.); drug stores and pharmacies; dry goods; fabrics and sewing supplies; furniture and appliance stores; hobby materials; home and office electronics; jewelry; luggage and leather goods; musical instruments; parts; accessories; small wares; specialty grocery store; specialty shops; sporting goods and equipment; stationery; toys and games; variety stores; videos, DVD's, records, and CD's, including rental stores.

**Ground Floor Ceiling Height.** Height from finished floor to finished ceiling of primary rooms on the ground floor not including secondary rooms such as bathrooms, closets, utility rooms, and storage spaces.

**Ground Floor Finish Level.** Height difference between adjacent public walk and the ground floor. In the case of a loading dock frontage that serves as the public Right-of-Way, the Floor Finish Level is the height of the walk above the adjacent street. Ground Floor Finish Level regulations for Residential Uses do not apply to lobbies or other common areas in multi-unit buildings. **Health/Fitness Facility.** A fitness center, gymnasium, health and athletic club, which may include any of the following:

Exercise machines, weight facilities, group exercise rooms, sauna, spa or hot tub facilities, indoor tennis, handball, racquetball, archery and shooting ranges and other indoor sports activities, indoor or outdoor pools.

**Height.** A limit to the vertical extent of a building that is measured in number of stories. Height limits do not apply to masts, belfries, clock towers, chimney flues, water tanks, elevator bulkheads, and similar structures, which may be of any height approved by the Director.

**Home Occupation.** Residential premises used for the transaction of business or the supply of professional services. Home occupation shall be limited to the following: agent, architect, artist, broker, consultant, draftsman, dressmaker, engineer, interior decorator, lawyer, notary public, teacher, and other similar occupations, as determined by the Director. Such use shall not simultaneously employ more than 1 person in addition to residents of the dwelling. The total gross area of the home occupation use shall not exceed 20 percent of the gross square footage of the residential unit. The home occupation use shall not disrupt the generally residential character of the neighborhood. The Director shall review the nature of a proposed home occupation use at the time of review of a business license for such use, and may approve, approve with conditions, continue, or deny the application.

**Infill.** The development of vacant land that was bypassed by earlier waves of development and is now largely surrounded by developed land.

**Library, Museum.** Public or quasi-public facilities, examples of which include: aquariums, arboretums, art galleries and exhibitions, botanical gardens, historic sites and exhibits, libraries, museums, planetariums, and zoos. May also include accessory retail uses such as a gift/book shop, restaurant, etc.

**Live/Work Unit.** An integrated housing unit and working space, occupied and utilized by a single household in a structure that has been designed or structurally modified to accommodate joint residential occupancy and work activity, and which includes:

Complete kitchen space and sanitary facilities in compliance with the Building Code;  
and Working space reserved for and regularly used by one or more occupants of the unit.

**Lodging: Bed & Breakfast Inn (B&B), and Hotel**

**Bed & Breakfast Inn (B&B).** A residential structure with one or more bedrooms rented for overnight lodging, where meals may be provided subject to applicable Environmental Health Department regulations.

**Lodging - Hotel.** A facility (typically a hotel or motel) with guest rooms or suites, with or without kitchen facilities, rented to the general public for transient lodging. Hotels typically include a variety of services in addition to lodging; for example, restaurants, meeting facilities, personal services, etc. Also includes accessory guest facilities such as swimming pools, tennis courts, indoor athletic facilities, accessory retail uses, etc.

**Medical Services: Doctor Office.** A facility other than a hospital where medical, dental, mental health, surgical, and/or other personal health care services are provided on an outpatient basis within an office suite. Counseling services by other than medical doctors or psychiatrists are included under “Office – Professional, Administrative.”

**Medium Tree.** A tree of sufficient size and type to create areas of continuous shade between plantings when spaced at approximately 30' O.C.

**Meeting or Education Facility, Public or Private.** A facility for public or private meetings, including:

Community centers, religious assembly facilities (e.g., churches, mosques, synagogues, etc.), professional and continuing education facilities, learning centers, civic and private auditoriums, Grange halls, union halls, meeting halls for clubs and other membership organizations, etc.

Also includes functionally related internal facilities such as kitchens, multi-purpose rooms, and storage. Does not include conference and meeting rooms accessory and incidental to another primary use, and which are typically used only by on-site employees and clients, and occupy less floor area on the site than the offices they support. Does not include:

Cinemas, performing arts theaters, indoor commercial sports assembly or other commercial entertainment facilities.

Related on-site facilities such as day care centers and schools are separately defined and regulated.

**Mixed-Use Project.** A development that combines both commercial and residential uses on the same site, typically with the residential above the commercial uses that occupy the ground floor street frontage.

**Mixed-Use Project Residential Component.** The residential portion of a mixed-use project.

**Multi-Family Housing.** A residential structure containing two or more dwelling units. Multi-family dwellings include: duplexes, triplexes, fourplexes (buildings under one ownership with two, three or four dwelling units, respectively, in the same structure); apartments (five or more units under one ownership in a single building); townhouse development (three or more attached dwellings where no unit is located over another unit); rowhouses; and other building types containing multiple dwelling units (for example, condominiums, courtyard housing, stacked flats, etc.). This does not include Multi-Family Housing that is the residential portion of a mixed use project that is defined and regulated under Mixed-Use Project Residential Component.

**Naturally Disposed.** A preservation of the existing natural condition or a composition of elements arranged as they would appear in a nature, with irregular shapes and asymmetry.

**Neighborhood Market.** A neighborhood serving retail store, primarily offering food products, which may also carry a range of merchandise oriented to daily convenience shopping needs, and may be combined with food service (e.g., delicatessen).

**Office, Business, Service and Professional, Administrative.**

**Business, Service.** Establishments providing direct services to consumers. Examples of these uses include employment agencies, insurance agent offices, real estate offices, travel agencies, utility company offices, elected official satellite offices, etc. This use does not include “Bank, Financial Services,” which is separately defined.

**Professional, Administrative.** Office-type facilities occupied by businesses that provide professional services, or are engaged in the production of intellectual property. Examples of these uses include:

Accounting, auditing and bookkeeping services, advertising agencies, attorneys, business associations, chambers of commerce, commercial art and design services, construction contractors (office facilities only), counseling services, court reporting services, design services including architecture, engineering, landscape architecture, urban planning, detective agencies and similar services, doctors, educational, scientific and research organizations, financial management and investment counseling, literary and talent agencies, management and public relations services, media postproduction services, news services, photographers and photography studios, political campaign headquarters, psychologists, secretarial, stenographic, word processing, and temporary clerical employee services, security and commodity brokers, writers and artists offices.

**Park, Playground.** An outdoor recreation facility that may provide a variety of recreational opportunities including playground equipment, open space areas for passive recreation and picnicking, and sport and active recreation facilities.

**Parking Facility, Public or Commercial.** Parking lots or structures operated by the City, or a private entity, providing parking either for free or for a fee. Does not include towing impound and storage facilities.

**Paseo.** A pedestrian alley. Pedestrian alleys are located and designed to reduce the required walking distance within a neighborhood.

**Passive Recreation.** Recreation requiring little or no physical exertion focusing on the enjoyment of ones natural surroundings.

**Permitted Use.** Uses listed herein as permitted (see Tables 2.1 - 2.3) are allowed by right and are not subject to the conditions of approval, mandatory review periods, or expiration periods as required for Administrative or Conditional Use Permits. For a permitted use, the Director and Planning Commission may not impose requirements and conditions with respect to location, siting, construction, maintenance, operation, duration, and overall development. However, if the Director determines that a permitted use may have negative impacts on adjacent properties and the public interest, impacts that are atypical for the use and/or unanticipated by this regulating code, an Administrative Use Permit may be required at the Director's discretion.

**Personal Services.** Establishments that provide non-medical services to individuals as a primary use. Examples of these uses include:

Barber and beauty shops, clothing rental, dry cleaning pick-up stores with limited equipment, home electronics and small appliance repair, laundromats (self-service laundries), locksmiths, massage (licensed, therapeutic, non-sexual), nail salons, pet grooming with no boarding, shoe repair shops, tailors, tanning salons.

These uses may also include accessory retail sales of products related to the services provided.

**Primary Street.** If a lot fronts on multiple streets, the street that is higher on the Street Type Hierarchy (see page 4-2) will be the Primary Street and all other streets will be Secondary Streets. If a block fronts only onto one street, that street is the Primary Street regardless of its location within the hierarchy. Sycamore Avenue and San Pablo Avenue, will always be treated as Primary Streets (i.e., both streets frontages at the intersection of Sycamore Avenue and San Pablo Avenue are to be treated as Primary Streets).

**Prohibited Uses.** Uses not listed in Table 2.1 "Sycamore Crossing Composite Use Table" are specifically prohibited unless the Director determines that a use is consistent pursuant to the Code.

**Public Safety Facility.** A facility operated by a public agency including fire stations, other fire preventive and fire fighting facilities, police and sheriff substations and headquarters, including interim incarceration facilities. May include ambulance dispatch on the same site.

**Residential Accessory Use or Structure.** Any use and/or structure that is customarily a part of, and clearly incidental and secondary to a residence, and does not change the character of the residential use. This definition includes the following detached accessory structures normally associated with a residential use property.

Garages, gazebos, greenhouses (noncommercial), spas and hot tubs, storage sheds, studios, swimming pools, tennis and other on-site sport courts, workshops.

Also includes the indoor storage of automobiles (including incidental restoration and repair), personal recreational vehicles and other personal property, accessory to a residential use. Does not include second units, which are separately defined; guest houses, which are included under the definition of second units; or home satellite dish and other receiving antennas or earth-based TV and radio broadcasts.

**Residential.** Premises used primarily for human habitation. Units shall not be less than 375 square feet in net area.

**Residential Care.** A single dwelling or multi-unit facility, licensed or supervised by a Federal, State, or local health/welfare agency, that provides 24-hour nonmedical care of unrelated persons who are disabled and in need of personal services, supervision, or assistance essential for sustaining the activities of daily living or for the protection of the individual in a family-like environment. Does not include day care facilities, which are separately defined.

**Restaurant, Cafe, Coffee Shop.** See "Eating or Drinking Establishment."

**Second Unit or Carriage House.** A second unit or carriage house is an auxiliary housing unit located above or adjacent to the garage of the primary housing unit on the lot. A carriage unit constitutes a residential second unit in compliance with the Government Code Section 65852.2 and, as provided by the California Government Code, is not included in maximum density limitations.

**Secondary Street.** If a lot fronts on multiple streets, the street that is higher on the Street Type Hierarchy (see page 4-2) will be the Primary Street and all other streets will be Secondary Streets. If a block fronts only onto one street, that street is the Primary Street regardless of its location within the hierarchy. Sycamore Avenue and San Pablo Avenue, will always be treated as Primary Streets (i.e., both streets frontages at the intersection of Sycamore Avenue and San Pablo Avenue are to be treated as Primary Streets).

**Setback.** The mandatory minimum distance between a property line and a building or appurtenance.

**Shared Parking.** Any parking spaces assigned to or allowed for more than one use, where persons utilizing the spaces are unlikely to need the spaces at the same time of day.

**Storefront.** The portion of a frontage that is composed of the display window and/or entrance and its components including windows, doors, transoms and sill pane that is inserted into various frontage types, such as a shopfront or gallery, to accommodate retail.

**Story.** A habitable floor level within a building, typically 8' to 14' high from floor to ceiling. A half story is a conditioned space that rests primarily underneath the slope of the roof, usually having dormer windows and occupying about half the area of the floor or floors below. Individual spaces, such as lobbies and foyers may exceed one story in height. The number of stories are measured from the sidewalk of the Primary Street.

**Studio - Art, Dance, Martial Arts, Music, etc.** Small-scale facilities, typically accommodating no more than two groups of students at a time, in no more than two instructional spaces. Examples of these facilities include:

Individual and group instruction and training in the arts; production rehearsal; photography, and the processing of photographs produced only by users of the studio facilities; martial arts training studios; gymnastics instruction, and aerobics and gymnastics studios with no other fitness facilities or equipment.

Also includes production studios for individual musicians, painters, sculptors, photographers, and other artists.

**Substantial Compliance.** It occurs when physical improvements to the existing development site are completed which constitute the greatest degree of compliance with current development provisions.

**Temporary Parking Lots.** Parking lots that are not permanent and are only intended to fulfill a short-term need and ultimately will be replaced by a permanent building or structure. Temporary Parking lots are not subject to the parking location regulations and liner requirements for above grade parking in the Building Form Standards, but must comply with all landscaping standards.

**Theater (Cinema or Performing Arts).** An indoor facility for group entertainment, other than sporting events. Examples of these facilities include:

Civic theaters, facilities for "live" theater and concerts, and movie theaters..

**Upper Floor Ceiling Height.** Height from finished floor to finished ceiling of primary rooms on the upper floors not including half stories and secondary rooms such as bathrooms, closets, utility rooms, and storage spaces.

**Wireless Telecommunications Facility.** Public, commercial and private electromagnetic and photoelectric transmission, broadcast, repeater and receiving stations for radio, television, telegraph, telephone, data network, and wireless communications, including commercial earth stations for satellite-based communications. Includes antennas, commercial satellite dish antennas, and equipment buildings. Does not include telephone, telegraph and cable television transmission facilities utilizing hard-wired or direct cable connections.

# Appendix B: Stormwater Quality Standards



## Description

Stormwater management will be regulated to meet high standards for water quality and improve the overall environmental sustainability of the site. Stormwater quality treatment systems will be provided through urban approaches and best management practices (BMP) such as flow-through planters, bio-retention basins, vegetated swales, water-quality basins, and filterra and vortex units to the extent possible. A wide variety of vegetation can be utilized to achieve a range of visual effects. Typically stormwater will be treated at the edges of the project area and located in focused, smaller areas that allow for more efficient maintenance and monitoring.

The U.S. Environmental Protection Agency provides a list of recommended publications on current best practices for stormwater management. One of these, the City of Emeryville’s 2005 Stormwater Guidelines for Green, Dense Redevelopment, is a good reference for stormwater management techniques and best practices that are appropriate for urban environments such as Sycamore Crossing. This and other resources are available on the EPA’s publications website at <http://www.epa.gov/smartgrowth/publications.htm>.

To the extent possible, water-quality treatment will follow all guidelines and standards as required by the City of Hercules, described in the Contra Costa County *C.3 Guidebook*.

## Size & Location

Min. Width	N/A
Max. Width	N/A

## General Character

Urban Approaches and Techniques
Wide Variety of Vegetation
Small, Efficient locations

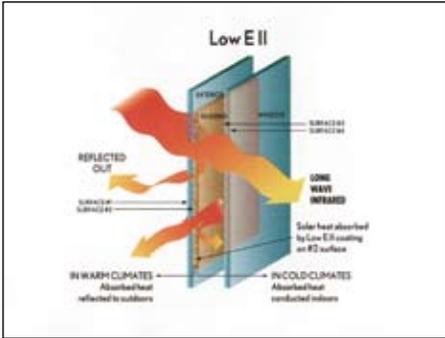
## Typical Uses

Improve Water Quality
Reduce quantity of urban runoff
Enhancement and protection of natural environment and resources
Varied and Attractive Streetscapes

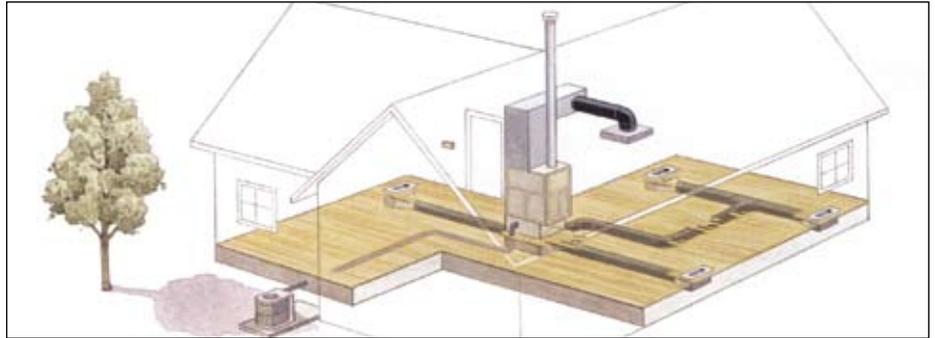
## Performance Standards

As described in *Stormwater C.3 Guidebook*

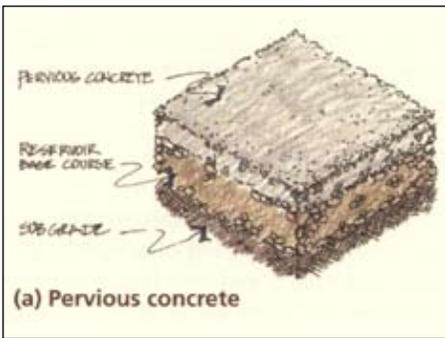
# Appendix C: Green Building Resources



Energy-saving window by Marvin



Shaded air conditioning unit & duct work installed within the insulated building envelope (PG&E)



Pervious concrete as an example of permeable paving (Green Streets, Metro, 2000)



Overhang shading window from hot sunlight



2-Story gallery provides shade across building

## Appendix B: Green Building Resources

Sycamore Crossing should strive to reach a high level of green building standards that combines principles of smart growth, new urbanism and green building. This role reflects the importance of sustainability in all phases of this project from design through construction. There are many methods to achieving this high level of sustainability based upon energy efficiency, sustainable site planning, materials and resources used, indoor air quality and water efficiency. California's building and energy code, Title 24, continues to raise the bar and demands new construction to be energy efficient.

The following is a list of resources and agencies that provide important information on how to achieve a high level of green building and sustainable design.

### Suggested Resources:

U.S. Green Building Council (USGBC): [www.usgbc.org](http://www.usgbc.org)

U.S. Environmental Protection Agency:  
[www.epa.gov/greenbuilding/](http://www.epa.gov/greenbuilding/)

LEED for New Construction Reference Guide

LEED for Homes Reference Guide

GreenPoint: [www.builditgreen.org/greenpoint-rated](http://www.builditgreen.org/greenpoint-rated)

Center of Excellence for Sustainable Development:  
[www.sustainable.doe.gov](http://www.sustainable.doe.gov)

Smart Growth America: [www.smartgrowthamerica.org](http://www.smartgrowthamerica.org)

Enterprise Green Communities: [www.greencommunitiesonline.org](http://www.greencommunitiesonline.org)

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